

ADDENDUM No. 1

PROJECT: Ottawa Elementary School- Freezer Replacement Project
CLIENT: Buchanan Community Schools
ISSUE DATE: 4/3/2023

The following clarifications and changes shall be included in the Plans and Specifications for the above referenced project, as prepared by Wightman & Associates, Inc. dated **March 2023**. This Addendum shall be deemed a part of the Contract Documents, and to the extent that the provisions of the other Contract Documents are in conflict herewith, this Addendum shall control.

CLARIFICATIONS:

1. The BCC and BFS plan reviews are attached in exhibit no.1. The Contractor is responsible to conform to all conditions of the reviews.
2. The Advertisement for Bids, section 001113, indicated the bid opening to be at 3:00 AM. **The bid opening is to be corrected to be April 19, 2023 at 3:00 PM.**
3. The School will purchase the freezer and freezer equipment. The Freezer supplier will install the freezer. The Contractor will be responsible for preparing the building to receive the freezer.

SPECIFICATIONS:

001113 SF - Advertisement for Bids

DRAWINGS:

Q-01 Freezer plans & details
QE-01 Electrical line drawings & schedule

ATTACHMENTS:

Exhibit A: Prebid Meeting Minutes
Exhibit B: BCC and BFS plan reviews
Exhibit C: Freezer specifications & scope of work
Exhibit D: Asbestos report

The bidder hereby acknowledges receipt of this Addendum and shall include a signed copy with their bid.

Company

Date

Signature

Title

Print or Type Name



DOCUMENT 001113 - ADVERTISEMENT FOR BIDS

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Qualified bidders may submit bids for project as described in this Document. Submit bids according to the Instructions to Bidders.
 - 1. Regulatory Requirements: Submittal, opening, and awarding of bids will be conducted in accordance with Section 38.0 1267 of the Michigan Legislature.
- B. Project Location:
 - 1. Ottawa Elementary School.
109 Ottawa Street
Buchanan MI 49107
- C. Owner: Buchanan Community Schools
401 W. Chicago Street
Buchanan MI 49107
 - 1. Owner's Representative: Rebecca Kaltenbach.
- D. Architect: Wightman & Associates.
2303 Pipestone Road
Benton Harbor MI 49022
Phone: 269-927-0100
Website: www.gowightman.com
 - 1. Architect's Representative: Christopher J. Brayak, AIA
- E. Project Description: Project consists of removing an existing 10'-6" x 6'-6" freezer and installing a new 12'x 8' freezer adjacent to the Ottawa Elementary School. The improvements include:
 - 1. Sawcutting and removal of asphalt and concrete paving
 - 2. Overall grading
 - 3. Granular fill subbase for freezer slab
 - 4. Electrical Work
 - 5. Installation of new circuits in the existing electrical panel to serve the freezer.
 - 6. Concrete Work- New and replacement sidewalk, freezer foundation and pipe bollard foundations and infill.
- F. Construction Contract: Bids will be received for the following Work:
 - 1. General Contract (all trades).

1.2 BID SUBMITTAL AND OPENING

- A. Owner will receive sealed lump sum bids until the bid time and date at the location given below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
 - 1. Bid Date: Wednesday April 19, 2023
 - 2. Bid Time: 3:00 pm, local time.

3. **Location: Buchanan High School, Business Office, 401 W Chicago Street, Niles, MI 49107.**

- B. Bids will be thereafter publicly opened and read aloud.
- C. All bids must be accompanied by a sworn and notarized statement disclosing any familial relationship between the owner or any employee of the bidder and any member of the board, intermediate school board, or board of directors or the superintendent of the school district, intermediate superintendent of the intermediate school district, or chief executive officer of the public school academy.
- D. All bids must be accompanied by the Iran Economic Sanctions Act Compliance Statement.

1.3 BID SECURITY

- A. Bid security shall be submitted with each bid in the amount of 5 percent of the bid amount. No bids may be withdrawn for a period of 60 days after opening of bids. Owner reserves the right to reject any and all bids and to waive informalities and irregularities.

1.4 PREBID MEETING

- A. Prebid Meeting: See Document 002513 "Prebid Meetings."
- B. Prebid Meeting: A Prebid meeting for all bidders will be held at Ottawa Elementary School, 109 Ottawa Street, Buchanan MI 49107 on March 30, 2023 at 9:00 a.m., local time. Prospective prime bidders are not required to attend, but attendance is highly encouraged.
 1. Bidders' Questions: Architect will provide responses at Prebid conference to bidders' questions received up to two business days prior to conference.

1.5 DOCUMENTS

- A. Printed Procurement and Contracting Documents: Obtain after March 26, 2023, by contacting Architect. Documents will be provided to prime bidders only; only complete sets of documents will be issued.
 1. Deposit: \$200.00 made payable to Wightman.
 2. Shipping: Additional shipping charges of \$20.00 will apply.
- B. Online Procurement and Contracting Documents: Obtain access after March 26, 2023 at 5:00 p.m., at the locations below:
 1. www.gowightman.com
 2. Reprographic Arts, www.raplanroom.com
 3. Dodge Plan Room, www.construction.com/products/dodge-planroom
 4. Builders Exchange of Michigan, home.grbx.com
 5. MACIAG, constructionsite.org

- C. Viewing Procurement and Contracting Documents: Examine, by appointment only, after March 26, 2023, at the location below:
1. Wightman
2303 Pipestone Road
Benton Harbor MI 49022
Phone: 269-927-0100

1.6 MILESTONE DATES – INCLUDES ADDENDUM DATES AND CONTACTS

- A. Dates listed below are subject to change.
1. Prebid Meeting: Thursday March 30, 2023, at 9:00 am local time (Ottawa School).
 2. Addendum No.1- Monday April 3, 2023.
 3. Final questions required by Tuesday April 11, 2023
 4. Addendum No.2 (if needed) Friday April 14, 2023.
 5. Bid Opening: Wednesday April 19, 2023, at 3:00 pm, local time (Administration Office).
 6. Post Bid Contractor interviews shall take place April 20 and 21, 2023.
 7. Recommendation of Award of the Construction Contract Tuesday April 25, 2023.
 8. Award of the Construction Contract Buchanan School Board Meeting, Monday May 15, 2023
 9. Anticipated commencement Monday May 22, 2023.
 10. Commencement of On Site work Monday June 12, 2023.
 11. Substantial completion: Friday August 11, 2023.
 12. Final Completion: Friday August 25, 2023.

1.7 TIME OF COMPLETION

- A. Successful bidder shall begin the Work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time.

1.8 BIDDER'S QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work. A Performance Bond, separate Labor and Material Payment Bond, and Insurance in a form acceptable to Owner will be required of the successful Bidder.

1.9 NOTIFICATION

- A. This Advertisement for Bids document is issued by order of the Members of the Buchanan Community School Board.

END OF DOCUMENT 001113

FOR APPROVAL ONLY

GENERAL NOTES	APPROVAL INITIALS
A. CAULK: BUTYL (24 TUBES) B. CAULK: SILICONE GREY (4 TUBES) C. ROOF CAP: DURO-LAST TAPERED MEMBRANE - 40 MIL - DIM A = 14' 0" DIM B = 10' 0" LAP LENGTH = 14' 0". D. EPS FOAM (SLOPED): DIM A=14' 0" DIM B=10' 0" SLOPE DIRECTION=8' 0". E. SEPARATION SLIP SHEET: DURO-LAST DURO-BLU (1 ROLL) F. SILICONE FOR MEMBRANE (4 TUBES)	

KEY NOTES	APPROVAL INITIALS
1. RAMP: 30"Wx24"D - CENTER TO OPENING (N/T) 2. LIGHT FIXTURE: (1) EVERIDGE - 45W LED - 48" - TYPICAL	

COMPARTMENT SCHEDULE	APPROVAL INITIALS
C-01 HEIGHT: 92" -10°F FREEZER TO CEILING: LOCK DETAIL: B/Q-01 LOCK TO FLOOR (NSF) DETAIL: C/Q-01 WALL PANEL RAIL: FOAM THICK: 4" DETAIL: C/Q-01 FINISHES: INT/EXT - ACRYLUME/EMBOSSD - 26 GA CEILING PANEL RAIL: FOAM THICK: 5" FINISHES: INT/EXT - ACRYLUME/EMBOSSD - 26 GA FLOOR PANEL RAIL: FOAM THICK: 4 1/8" RECS: X" FINISHES: INTERIOR - ALUMINUM/SMOOTH - .050 EXTERIOR - ACRYLUME/EMBOSSD - 26 GA	

DOOR SCHEDULE - SWING	APPROVAL INITIALS
D01 36"W x 78"H FREEZER SLIP MOUNT ALLOWANCE DETAIL: D/Q-01 FLUSH MOUNT CLOSER: KASON 1094 VENT: KASON 1825 115V HEATED VIEWPORT: HINGE: KASON 1248 QTY: 2 LATCH: KASON 27C RELEASE: SWITCH / ALARM: 1967-2 DIGITAL THERMOMETER W/ SWITCH LIGHT: KASON 1806 - LED (MOUNTED TO JAMB) MAGNETIC GASKET RAIN HOOD (HINGED) DOOR JAMB HEAT (120V) "X" = YES JAMB: X B.O. DOOR THRESHOLD: X	

REFRIGERATION	APPROVAL INITIALS
CONDENSING UNIT FOR HOLDING FREEZER MANUFACTURER: HTPG - RUSSELL DCE DESCRIPTION: HEAT GEN MINI-COM CONDENSING UNIT LOW TEMPERATURE SCROLL COMPRESSOR: 208-230V/180 FLOODED NO DEFROST PROVISIONS MODEL: RFO20XL48DANT HORSEPOWER: 2.3333HP EXTRAS: ELECTRICAL: 208-230V/180, RLA 12.4359, MOPD 25, MCA 17.5 CONDITIONS: BTUH 7330 ROOM TEMP -10° F AMBIENT 95° F WARRANTY: COMPRESSOR-MOTOR WARRANTY EXTENDED TO 5-YEARS, PARTS ONLY, NO LABOR 1 X EVAPORATOR UNIT COOLER MANUFACTURER: HTPG - RUSSELL DCE DESCRIPTION: ELECTRIC DEFROST LOW PROFILE WITH DUAL SPEED EC MOTOR COIL MODEL: RL6E07DDARE EXTRAS: 1X NONE ELECTRICAL: 208-230V/180, FAN AMPS 1, DEFROST AMPS 9.8	



THERMALRITE
by EVERIDGE
15600 37TH AVE N. SUITE 100
PLYMOUTH, MN 55446
PHONE (763) 541-1410 FAX (763) 541-1563
https://www.everidge.com



COMPLIANCE
WALK-INS MEET OR EXCEED ALL PRESCRIPTIVE STANDARDS OF THE ENERGY INDEPENDENCE AND SECURITY ACT (EISA) OF 2007

REFERENCE SYMBOL LEGEND

KEY NOTE	KEY NOTE
(X) ELEVATION REF. DWG NUMBER	(DXX) DOOR TAG
(X) SECTION REF. DWG NUMBER	(C-XX) COMPARTMENT TAG
(X) DETAIL REF. DWG NUMBER	(JG) JAMB GUARDS (Opening Free)
(X) DATUM POINT	(DL) DAIRY LIP (Opening Free)
	(TM) T-MOLDING (Opening Free)
	(X) REVISION NUMBER

SITE NOTATION

- WHEN APPLICABLE - DOES BUILDING FLOOR HAVE TILE AND GROUT INSTALLED BEFORE OR AFTER WALK-IN INSTALLATION IF SO PROVIDE TILE THICKNESS
- ALLOW 2" FOR COOLER AND FREEZER MINIMUM AIR SPACE ALL AROUND WALK-IN FOR AMPLE AIR CIRCULATION

WARNINGS:

- TO AVOID DOOR DAMAGE, DO NOT REMOVE FREEZER DOOR HEATERS PRIOR TO STARTUP OF REFRIGERATION
- TO AVOID DISCOLORATION OF METAL ON PANELS, PROPERLY VENTILATE EACH ROOM IF THE FOLLOWING WORK IS TO BE DONE

CONSTRUCTION (STANDARD)

- CORNERS AND T-WALLS TO BE ONE PIECE CONSTRUCTION W/ 3/8" RADIUS AT ALL INSIDE VERTICAL CORNERS, JOINTS SEALED W/ PVC GASKET AT INT. & EXT. PERIMETER OF PANELS, CONNECTED W/ CAM-LOCK FASTENERS
- ALL CEILING AND WALL PANELS ARE NOT DESIGNED TO CARRY ADDITIONAL CONDENSING UNIT WEIGHT UNLESS SPECIFICALLY NOTED OTHERWISE AND DESIGNATED IN PLAN

ELECTRICAL NOTICE

- ALL ELECTRICAL COMPONENTS WITHIN THE WALK-INS, IE LIGHT SWITCHES, PRESSURE RELIEF PORTS, JAMB HEATERS SHALL BE FACTORY PRE-WIRED, FOR HOOK UP BY ELECTRICAL CONTRACTOR
- ALL LIGHT FIXTURES SUPPLIED ARE SHIPPED LOOSE FOR INSTALLATIONS BY ELECTRICAL CONTRACTOR
- ThermalRite SHALL ACCEPT NO RESPONSIBILITY FOR ANY BACK CHARGES ASSOCIATED WITH INSTALLATION OF LIGHT FIXTURES OR FIELD WIRING CONNECTIONS.

CONCRETE SLAB / PAD NOTICE

- SLAB / PAD MUST BE LEVEL WITHIN 1/4" OVER 10'-0" IN ANY DIRECTION
 - SLAB / PAD MUST BE FLAT, SMOOTH, AND UNIFORM WITH MAXIMUM 1/4" TOTAL DEVIATION OVER 10'-0" STRAIGHTEDGE IN ANY DIRECTION
- I HEREBY ACKNOWLEDGE THAT I HAVE BEEN INFORMED OF THE ABOVE SLAB / PAD REQUIREMENTS AND FAILURE TO COMPLY WILL RESULT IN REFUSAL TO INSTALL AND/OR WILL VOID ANY WARRANTY COVERAGE FOR ISSUES ON THIS WALK-IN RESULTING FROM SUCH INSTALLATION.

X

1				
REV	DESCRIPTION	DATE	BY	

Approval Status Block

Drawing Reviewed By:

Review Date:

Please Check Appropriate Field

Approved as Drawn: ☐

Revise and Resubmit: ☐

Customer Service Rep.

CHRIS EVERS

Submittal Drafter Shop Drafter

BS

Save Dwg Date: 8.9.2022

Customer/Dealer

SEFA - GREAT LAKES HOTEL SUPPLY (MI)
24101 W 9 MILE RD
SOUTHFIELD, MI 48033-3972

Site Information

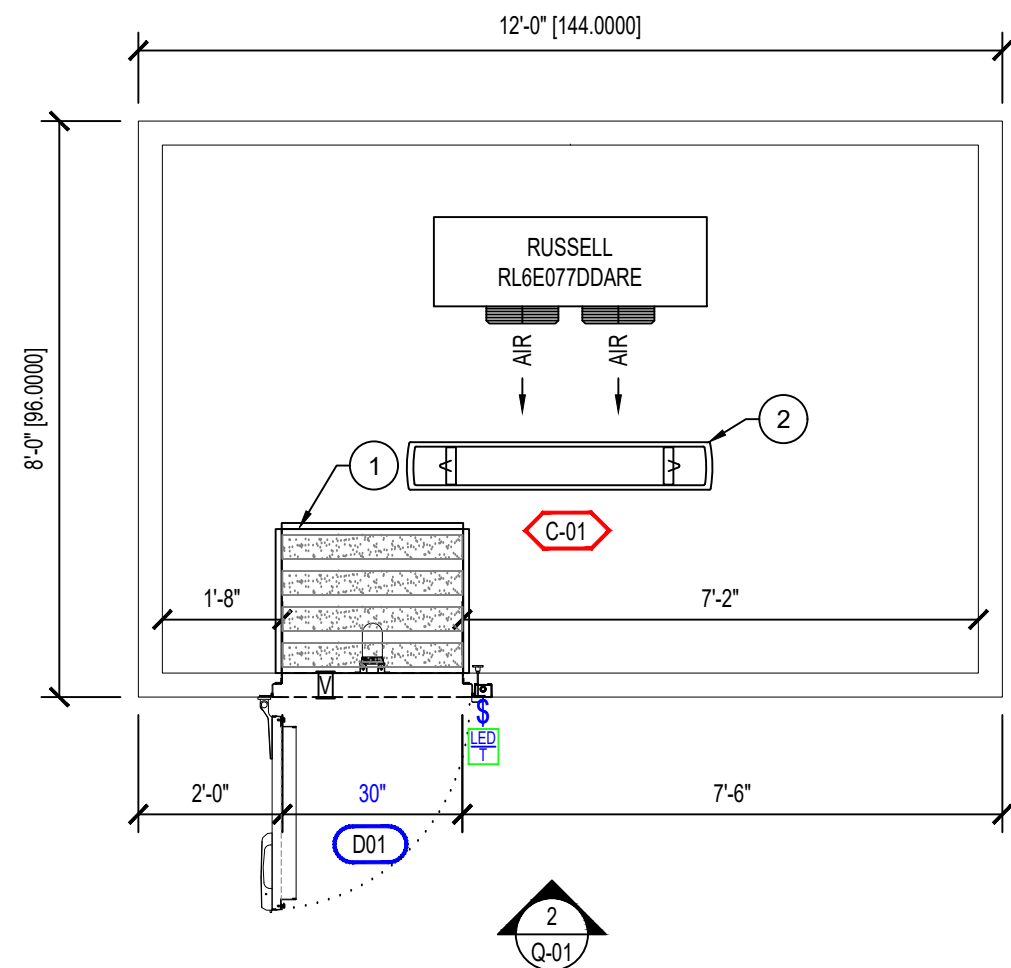
OTTAWA ELEMENTARY

BUCHANAN MI 49107

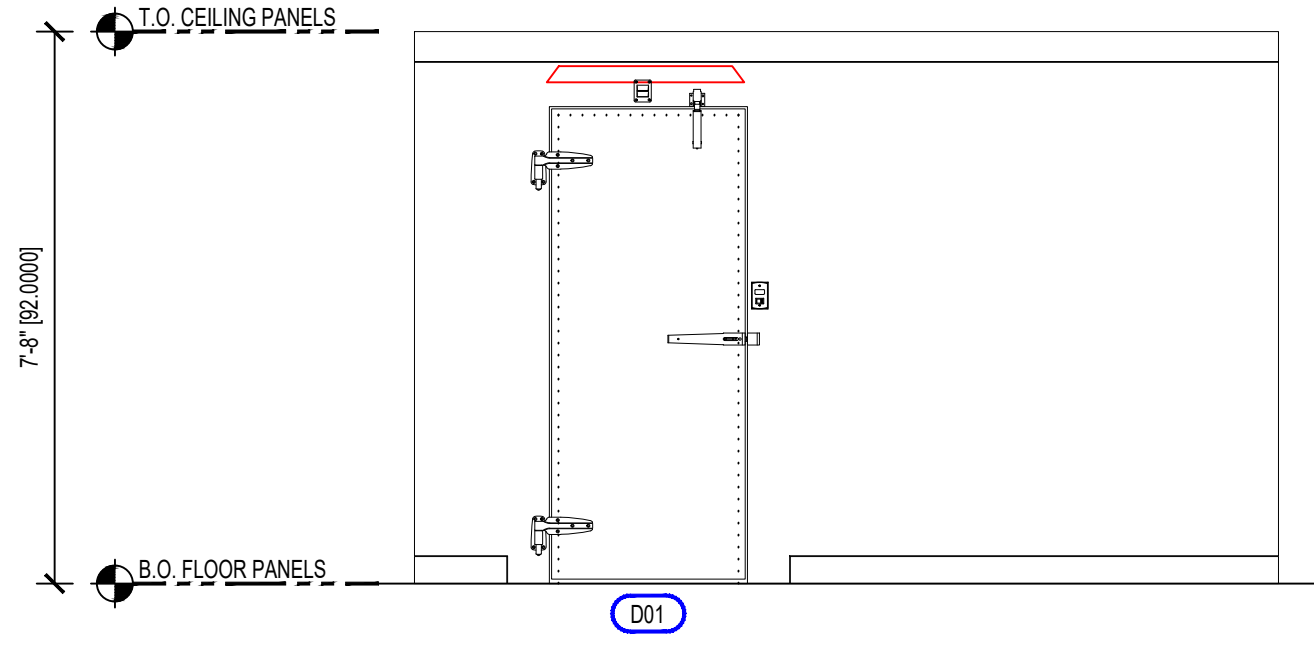
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Project # E035959-01

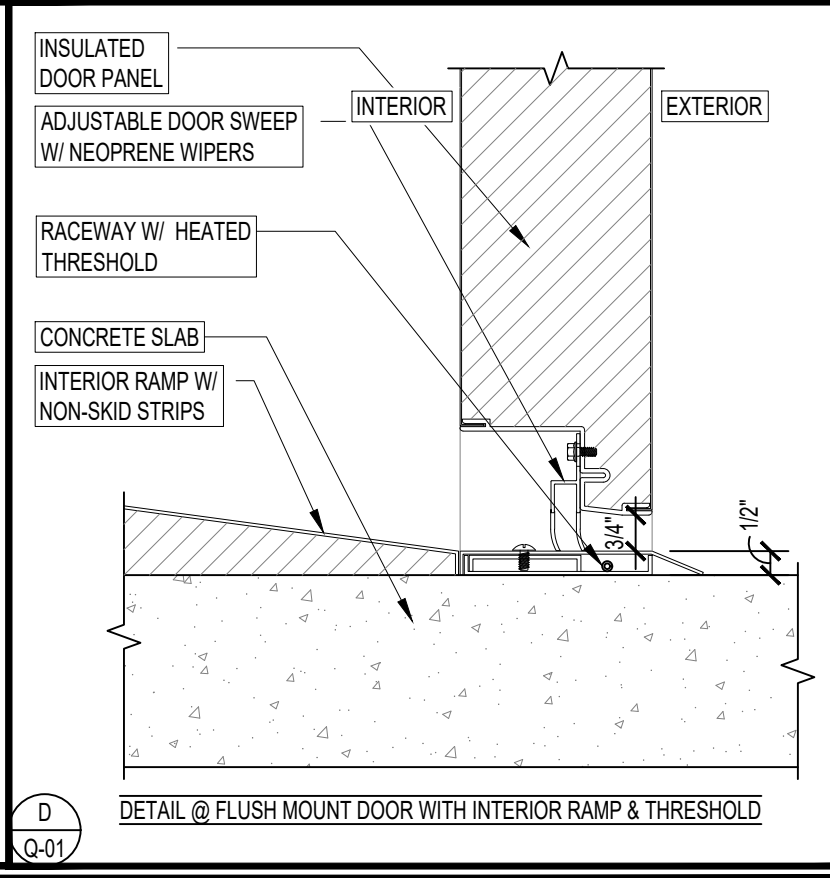
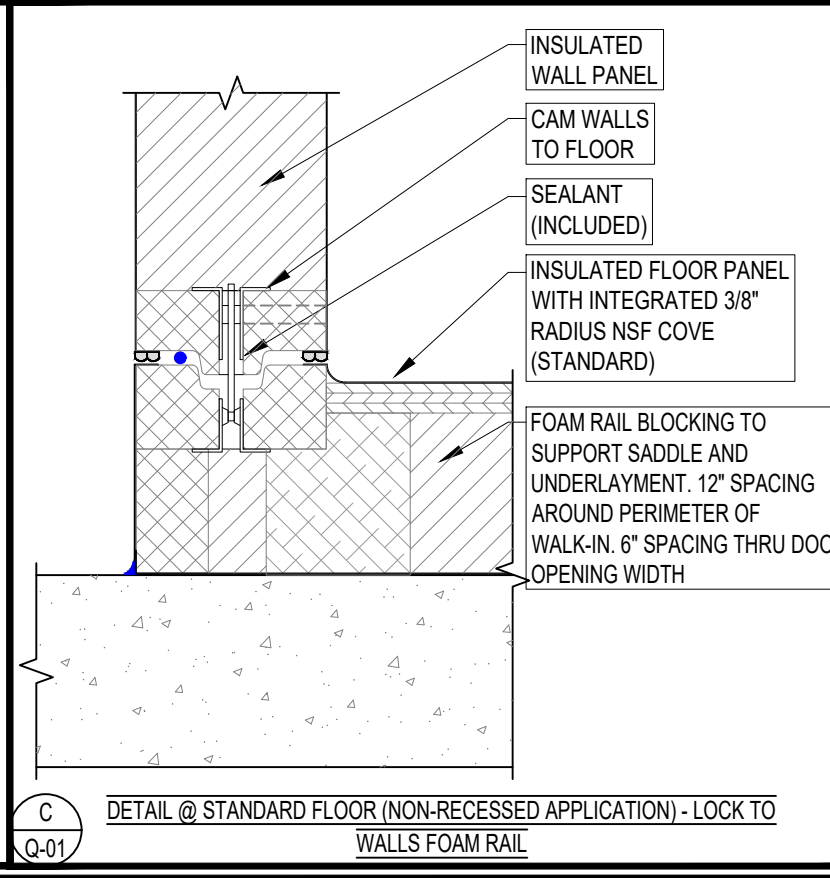
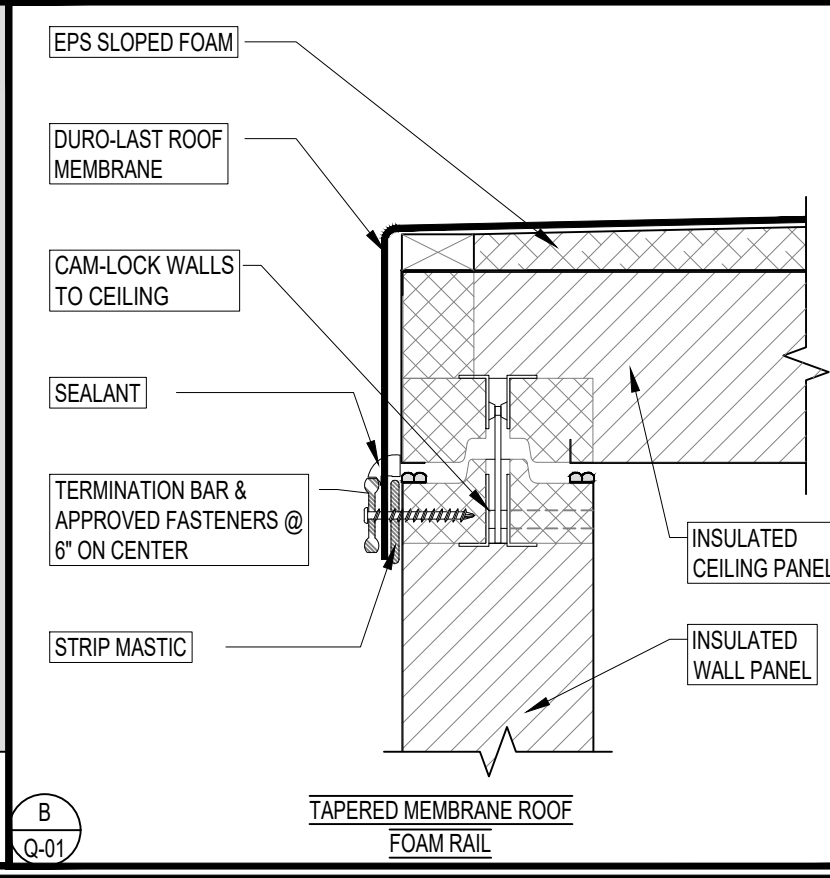
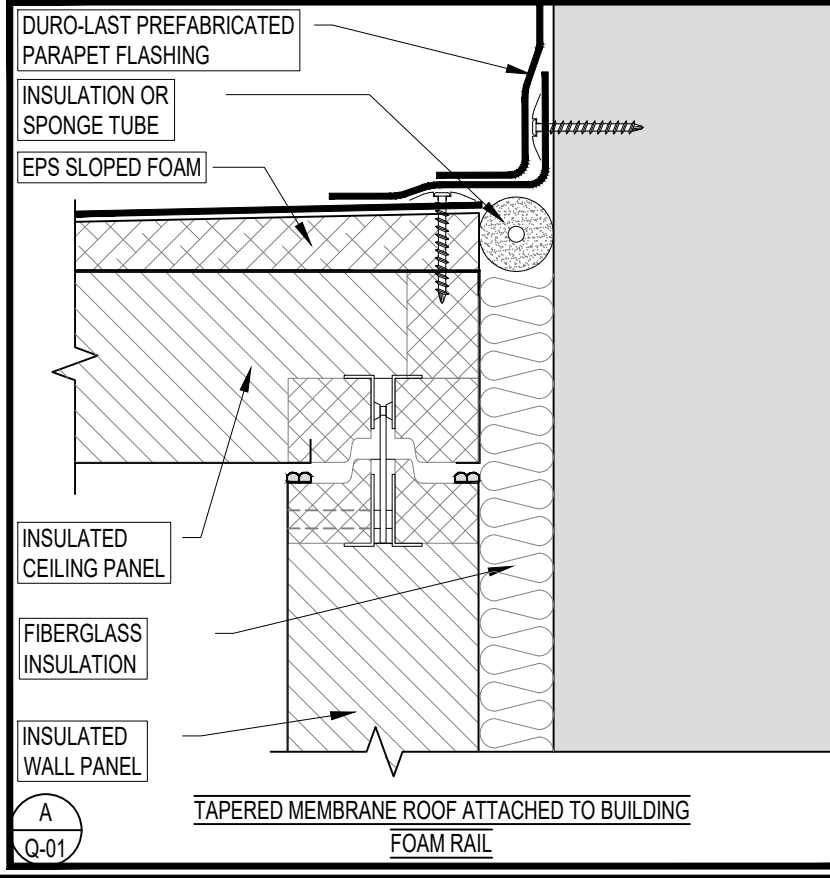
Sheet # Q-01



1 WALL PANEL PLAN
Q-01 1/8" = 1'-0" APPROVAL INITIALS



2 ELEVATION
Q-01 1/8" = 1'-0" APPROVAL INITIALS



FOR APPROVAL ONLY



15600 37TH AVE N. SUITE 100
PLYMOUTH, MN 55446
PHONE: (763) 541-1410 FAX: (763) 541-1563
https://www.everidge.com



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X

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REV	DESCRIPTION	DATE	BY
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Approval Status Block

Drawing Reviewed By:

Review Date:

Please Check Appropriate Field

Approved as Drawn:

Revise and Resubmit:

Customer Service Rep.

CHRIS EVERS

Submittal Drafter Shop Drafter

BS

Save Dwg Date: 8.9.2022

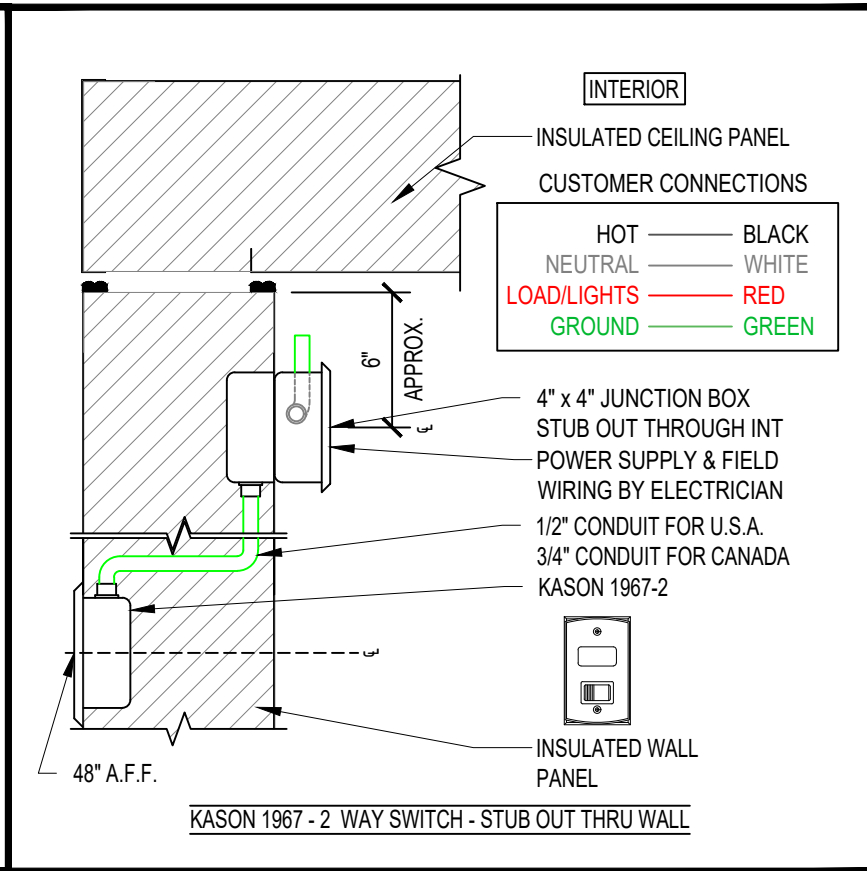
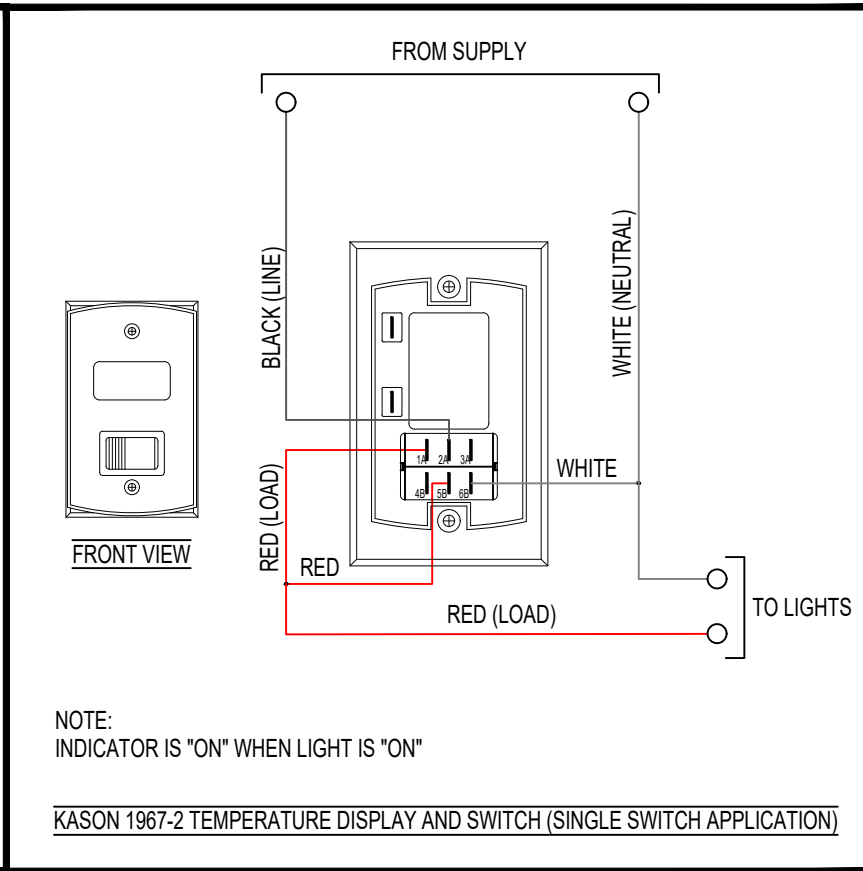
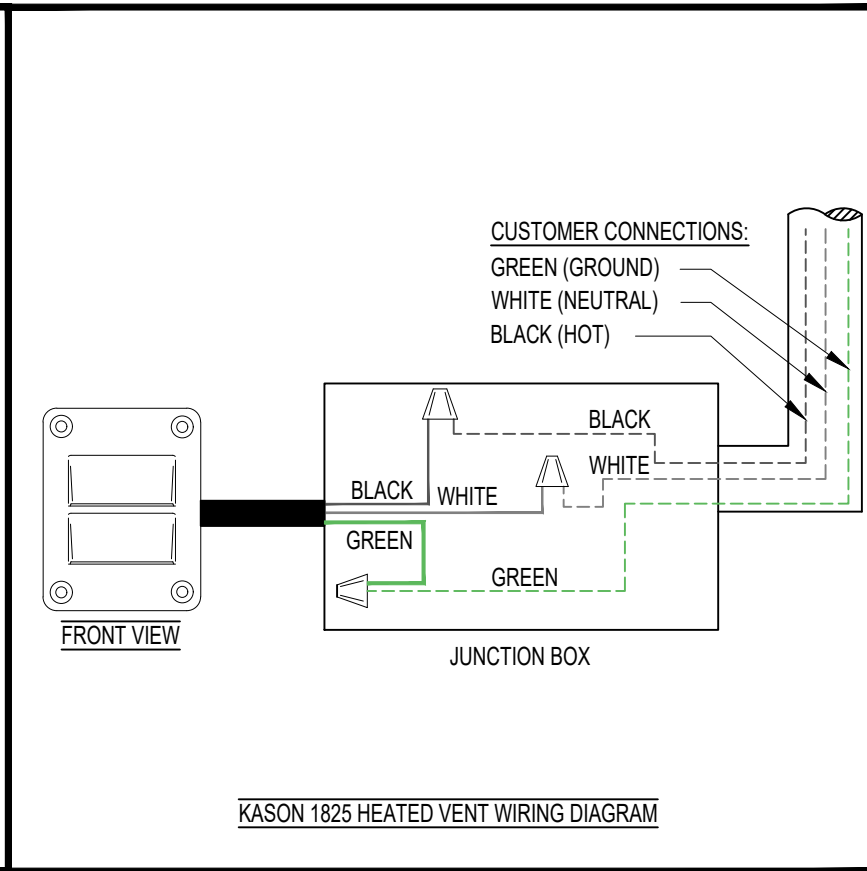
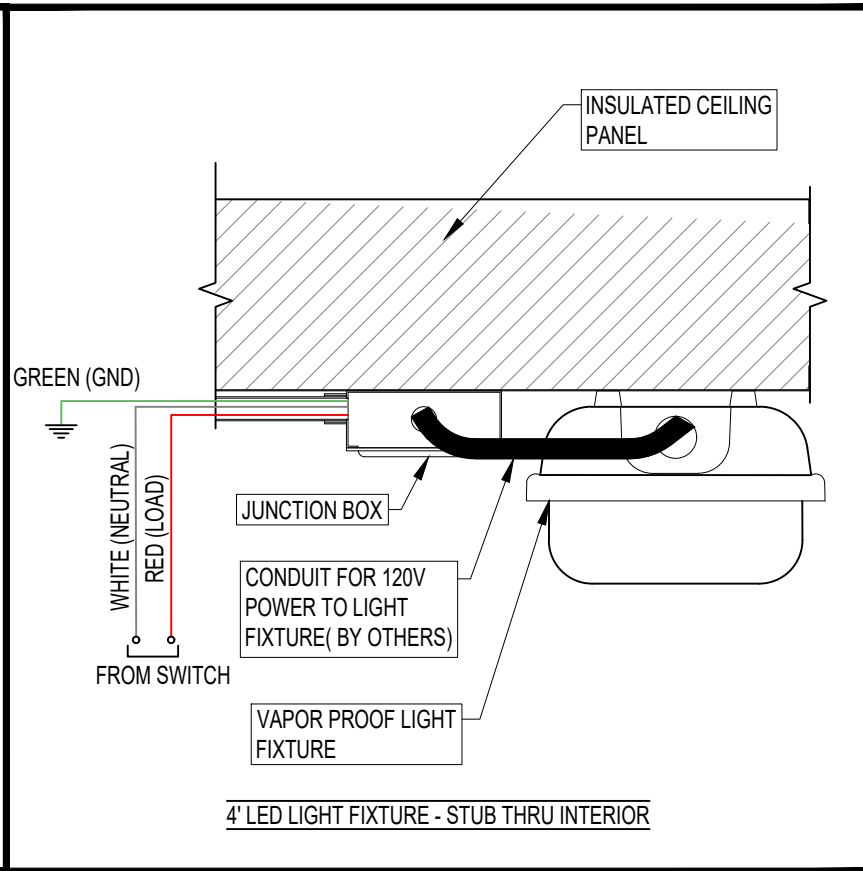
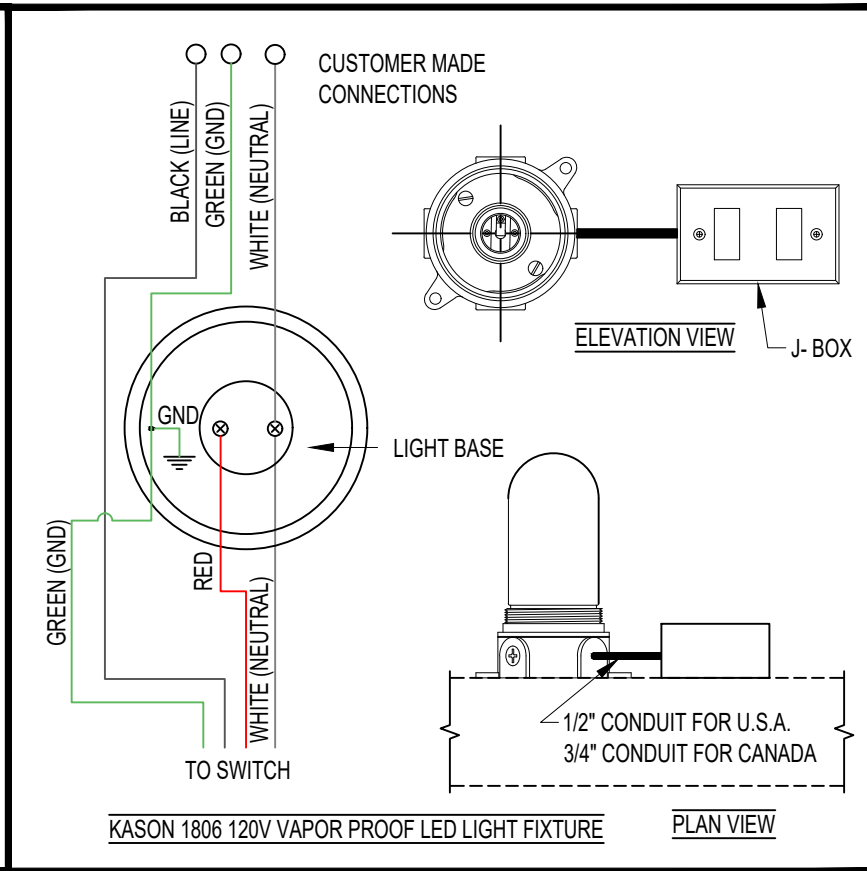
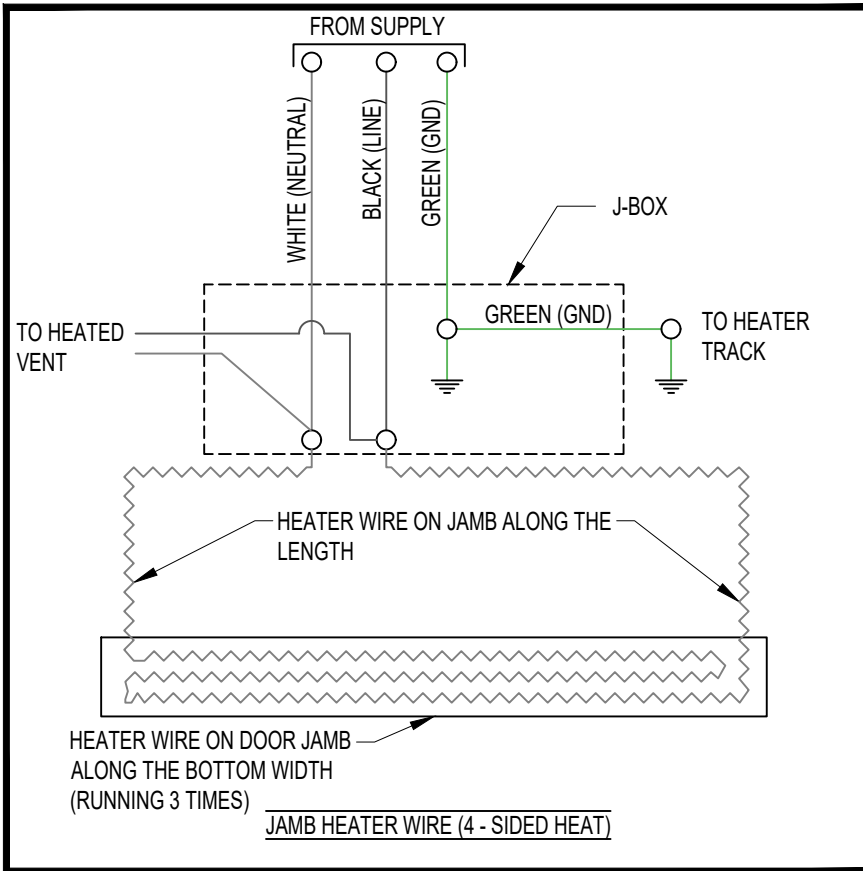
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SEFA - GREAT LAKES HOTEL SUPPLY (MI)
24101 W 9 MILE RD
SOUTHFIELD, MI 48033-3972

Site Information
OTTAWA ELEMENTARY

BUCHANAN MI 49107
Create Dwg Date: 08.09.2022

Project # E035959-01

Sheet # QE-01



PRE-BID MEETING MINUTES

CLIENT Buchanan Community Schools
PROJECT Ottawa Elementary School- Freezer Replacement Project
DATE: March 30, 2023

Introductions

- Sign in Sheet
- Identify Project Roles
 - Rebecca Kaltenbach- BCS, Food Services Supervisor 269.695.8415.
 - Chris Brayak, Wightman- Project Manager 269.487.9694.
 - Ron Brady, Wightman- Project Coordinator 269.605.4519.

Overall Project Scope of Work:

The project consists of the removal and replacement of the walk in freezer.

The work includes:

- Demolition-
 - removal and disposal of the existing walk in box freezer.
 - Saw cutting and removal of sidewalk and curbing.
- Install new concrete floor, foundation and sidewalk
- Install the freezer and remote condenser provided by the owner
- Carpentry to install the freezer and condenser
- New electrical work for the freezer, evaporator and condenser.
- The project is subject to Davis Bacon Act- Prevailing Wages section 00 40 00 of the specs.

Bid Requirements, Bid Sheet and Bid Alternates

- Base Bid: All work
- Alternates- None
- Unit Prices- None

Schedule and Requirements

- Addendum 1 will be issued Monday April 3, 2023. It will be uploaded with the prebid meeting minutes on the Wightman web site, <https://bids.gowightman.com/>.
- Questions will be accepted through Tuesday, April 11, 2023.
- Addendum 2- Friday April 14, 2023 to address contractor questions.
- **Bid Date: Wednesday April 19, 2023 at 3:00 PM local time at the Buchanan Community Schools Administration Office. 401 Chicago Street, Buchanan, MI 49107**
- Post Bid Contractor Interviews shall take place if needed April 20th and 21st, 2023 if necessary.
- The Tentative Award will be at the Board of Education Meeting on Monday May 15, 2023.
- The anticipated commencement date is Monday May 22, 2023.
- On site work commencement Monday June 12, 2023.
- The Substantial Completion date is Friday, August 11, 2023.
- Final Completion Friday August 25, 2023.
- The Project has received State BCC and BFS approval. The BCC and BFS plan reviews will be included in addendum no.1.
- Bid Security: required.
- Familial Discloser is required.
- Iran Economic Sanctions Act Sanction Certificate is required
- Payment & Performance Bonds: required
- Prevailing Wages are required.
- Addenda:
 - Addendum 1- post pre-bid meeting April 3, 2023 to address pre-bid questions.
 - Addendum 2- Address final contractor questions Friday April 14, 2023.



PRE-BID MEETING MINUTES

Site Requirements

- Hours: Construction on site, no restrictions, unless required by City Ordinance.
- Coordinate no work dates with the Architect and Owner's Representative for possible school functions.
- Parking Locations, Material Deliveries and Construction Trailer, etc. Locate per the Owner's Representative In the parking lot south and adjacent to the school.
- Security and Safety: Is the responsibility of the Contractor.
- Contractor Decorum and Conduct: Shirts required, no profanity, tobacco, alcohol, marihuana use on the site. No lewd behavior and unnecessary interaction with students on the site.
- Temporary Contractor Use of Utilities and Facilities:
 - Notify the owner not less than two days in advance of proposed utility interruptions and obtain owners written permission before proceeding.
 - Water/Electric: coordinate with Owner's Representative.
 - Restrooms: Temporary Porta John to be located on the sites.
- Miscellaneous Items:

Contract Requirements

- Substantial Completion Importance to have all work done
- Contractor to conduct progress meetings every two weeks
- Monthly Payment Applications received by the Architect by the 21st day of the month will be processed and be placed on the agenda for the next School Board Meeting. If the pay applications are received after the 21st day of the month, are not correct or do not correctly represent the work completed in the field the application may be delayed to the following Board meeting.
- The Liquidated damages of 500 dollars (\$500) per day will be imposed on the Contractor if the project is not substantially completed by the Friday August 11, 2023 substantial completion date.

Contractor Questions and Concerns

Email questions to Chris Brayak- Cbrayak@gowightman.com or Ron Brady- Rbrady@gowightman.com.

Project Site Walk through on own

Questions and Clarifications:

- A question was asked about the location of the electrical panel serving the freezer condenser. The electrical panel that is assumed to supply the condenser was found and there is a line drawing provided on sheet E1 of the architectural drawings, the contractor must verify in field all electrical requirements.
- It was asked if there were drawings from the freezer supplier. The drawings are provided with this addendum.

Attached Sign In Sheet

Attached Addendum No. 1



Department of Licensing and Regulatory Affairs

1st Floor Ottawa Building
611 W. Ottawa Street
Lansing, MI 48933



Final Report - Approved

Application Number: PR2022BCC-002365

Report Date: 11/16/2022

Description : Existing freezer removal and replacement.

Address : 109 OTTAWA ST, BUCHANAN, MI, 49107

Record Type : BCC Plan Review

Document Filename : 2022.08.10 State Submittal.pdf

Reviewer Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone
Edward Lutz	LutzE@michigan.gov	-
Sheila Hartfield	hartfields@michigan.gov	517-582-5517
Daniel Morris	MorrisD9@michigan.gov	517-927-9734

General Comments

Comment ID	Reviewer : Department	Review Comments
3	Daniel Morris : Mechanical	MMC, Section 1108.1 - General. Pressure test refrigerant piping. Every refrigerant-containing part of every system that is erected on the premises, except compressors, condensers, vessels, evaporators, safety devices, pressure gauges and control mechanisms that are listed and factory tested, shall be tested and proved tight after complete installation, and before operation. Tests shall include both the high and low-pressure sides of each system at not less than the lower of the design pressures or the setting of the pressure relief device(s).

Markups for this Approved Document or Plan

Comment ID	Page Ref	Reviewer : Department	Review Comments
4	3	Edward Lutz : Electrical	The electrical review is approved contingent on field inspection.

OTTAWA ELEMENTARY SCHOOL

OTTAWA ELEMENTARY SCHOOL FREEZER REPLACEMENT PROJECT

109 OTTAWA STREET, BUCHANAN, MI 49107



ELECTRICAL ROOM,
VERIFY ROOM LOCATION
WITH SCHOOL
REPRESENTATIVE

PROJECT
LOCATION
109 OTTAWA STREET
BUCHANAN, MI 49107

SITE PLAN
SCALE: NOT TO SCALE

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- ARCHITECTURAL WORK SHALL BE IN ACCORDANCE w/ THE MICHIGAN BUILDING CODE AND MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS.
- ELECTRICAL WORK SHALL BE PERFORMED BY STATE OF MICHIGAN LICENSED ELECTRICIANS ACCORDING TO THE NATIONAL ELECTRIC CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING ELECTRICAL SYSTEM.
- ALL PLUMBING WORK SHALL BE PERFORMED BY STATE OF MICHIGAN LICENSED PLUMBERS ACCORDING TO MICHIGAN PLUMBING CODE AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING PLUMBING SYSTEM.
- HEATING AND AIR CONDITIONING SHALL BE ACCORDING TO THE MICHIGAN MECHANICAL CODE AND THE MICHIGAN ENERGY CODE.
- ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS w/ DISABILITIES ACT.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
- IF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE FINAL CLEAN-UP OF THE PROJECT.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL NOT ORDER EQUIPMENT OR FABRICATE BUILDING COMPONENTS WITHOUT FIRST FIELD VERIFYING ALL DIMENSIONS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN THE EXISTING BUILT ENVIRONMENT AND THE PLANS.
- BIDDERS SHALL BE RESPONSIBLE TO PROVIDE EVALUATION DOCUMENTATION FOR ALL ALTERNATES FOR ARCHITECT/OWNER REVIEW AND APPROVAL; ALL ALTERNATES SHALL BE APPROVED OR EQUAL.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS. SHOULD DIFFERENT CONDITIONS BE ENCOUNTERED, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH WORK.

LIST OF ABBREVIATIONS

A.B.	-ANCHOR BOLT	L.P.	-LOW POINT
A.C.T.	-ACOUSTICAL COMPOSITE TILE	LAV.	-LAVATORY
A.F.F.	-ABOVE FINISHED FLOOR	LOC.	-LOCATE
A.F.G.	-ABOVE FINISHED GRADE	L.G.	-LONG
ALT.	-ALTERNATE	M.#	-MELAMINE SURFACE
ALUM.	-ALUMINUM	MAS.	-MASONRY
AUX.	-AUXILIARY	MAX.	-MAXIMUM
B.F.C.	-BELOW FINISH CEILING	MECH.	-MECHANICAL
B.O.	-BOTTOM OF	MDP.	-MODIFIED PROCTOR
BD.	-BOARD	MIN.	-MINIMUM
BLK'G.	-BLOCKING	MTD.	-MOUNTED
BM.	-BEAM	MTL.	-METAL
BTM.	-BOTTOM	MFR.	-MANUFACTURERS
C.	-CENTER LINE	NA	-NOT APPLICABLE
C.	-CONDUIT	N.C.	-NOT IN CONTRACT
CPT	-CARPET	O.C.	-ON CENTER
CLG.	-CEILING	O.D.	-OUTSIDE DIMENSION
C.O.	-CLEAN OUT	O.H.	-OVERHANG
COL.	-COLUMN	OIO	-OUT TO OUT DIMENSION
CONC.	-CONCRETE	OSB	-ORIENTED STRAND BOARD
CONN.	-CONNECTION	P.	-PLATE
CONT.	-CONTINUOUS	PL#	-PLASTIC LAMINATE
CONTR.	-CONTRACTOR	PLYWD.	-PLYWOOD
CTR.	-CENTER	PRE-FAB.	-PREFABRICATED
C.W.	-COLD WATER	PRE-FIN.	-PREFINISHED
CPT.	-CARPET	PSF	-POUNDS PER SQ. FOOT
DIA.	-DIAMETER	PSI	-POUNDS PER SQ. INCH
DBL.	-DOUBLE	PT	-PAINT
DN.	-DOWN	P.T.	-PRESSURE TREATED
DWG.	-DRAWING	P.R.	-PROXIMITY READER
E.F.	-EXHAUST FAN	PTN.	-PARTITION
EL.	-ELEVATION	PVC	-POLYVINYL CHLORIDE
ELEV.	-ELEVATION	QTY.	-QUANTITY
EQ.	-EQUAL	R.D.	-ROOF DRAIN
EQUIP.	-EQUIPMENT	RECEPT.	-RECEPTACLE
E.W.	-EACH WAY	REINF.	-REINFORCING
EXT.	-EXTERIOR	RM.	-ROOM
EXST.	-EXISTING	R.O.	-ROUGH OPENING
EX.	-EXHAUST	SQ.	-SQUARE
F.D.	-FLOOR DRAIN	SSL	-STAINLESS STEEL
FIN.FL.	-FINISH FLOOR	STL.	-STEEL
F.O.M.	-FACE OF MASONRY	STRUC.	-STRUCTURAL
F.O.S.	-FACE OF STUD	S.V.	-SHEET VINYL
F.P.H.B.	-FREEZE PROOF HOSE BIBB	T.C.	-TOP OF CURVE
FRP	-FIBERGLASS REINFORCED PANEL	T&G	-TONGUE AND GROOVE
FT.	-FOOT	T.O.S.	-TOP OF SLAB
FTG.	-FOOTING	T.O.W.	-TOP OF WALL
FND.	-FOUNDATION	T.O.F.	-TOP OF FOOTING
GA.	-GAUGE	TYP.	-TYPICAL
GAL.	-GALLON	U.N.O.	-UNLESS NOTED OTHERWISE
GALV.	-GALVANIZED	TILT.	-TOILET
G.C.	-GENERAL CONTRACTOR	V.I.F.	-VERIFY IN FIELD
GPM.	-GALLONS PER MINUTE	V.B.	-VAPOR BARRIER
GRD.	-GROUND	VCT	-VINYL COMPOSITE TILE
GYP. BD.	-GYPSUM BOARD	VEN.	-VENEER
HT.	-HEIGHT	VERT.	-VERTICAL
H.M.	-HOLLOW METAL	VEST.	-VESTIBULE
HORIZ.	-HORIZONTAL	V.T.R.	-VENT THRU ROOF
H.W.	-HOT WATER	W.	-WIDE WASTE
H.P.	-HORSE POWER, HIGH POINT	w/	-WITH
INSUL.	-INSULATION	W.C.	-WATER CLOSET
J.C.	-JANITOR CLOSET	W.C.O.	-WALL CLEAN OUT
LAM.	-LAMINATE	WD.	-WOOD
LLH.	-LONG LEG HORIZONTAL	W.H.	-WATER PROOF
LLV.	-LONG LEG VERTICAL	W.W.F.	-WELDED WIRE FABRIC

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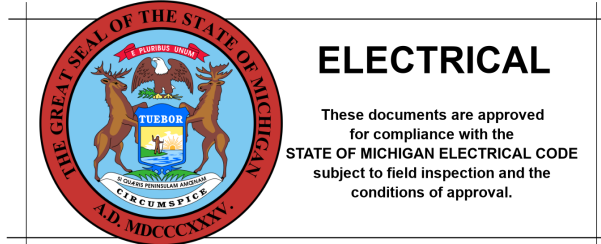
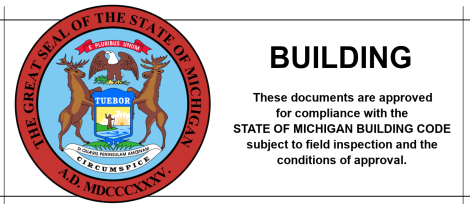
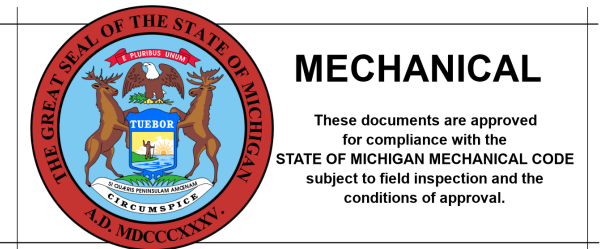
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INDEX OF DRAWINGS

ISSUE DATE	SHEET NO.	SHEET TITLE
08/12/2022	G001	TITLE SHEET
08/12/2022	A100	FLOOR PLANS & DETAILS
08/12/2022	E100	ELECTRICAL FLOOR PLAN & DETAILS
08/12/2022	Q-01	FREEZER MANUFACTURER DETAILS
08/12/2022	QE-01	FREEZER MANUFACTURER ELECTRICAL & DETAILS
08/12/2022		

BUILDING CODE INFORMATION:

USE CLASSIFICATION:	E - EDUCATION
CONSTRUCTION TYPE:	II



W+

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PROJECT NAME:
**OTTAWA
ELEMENTARY
SCHOOL FREEZER
REPLACEMENT
PROJECT**
109 OTTAWA STREET
BUCHANAN, MI 49107

**BUCHANAN
COMMUNITY
SCHOOLS**
401 W CHICAGO STREET
BUCHANAN, MI 49107

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REVISIONS

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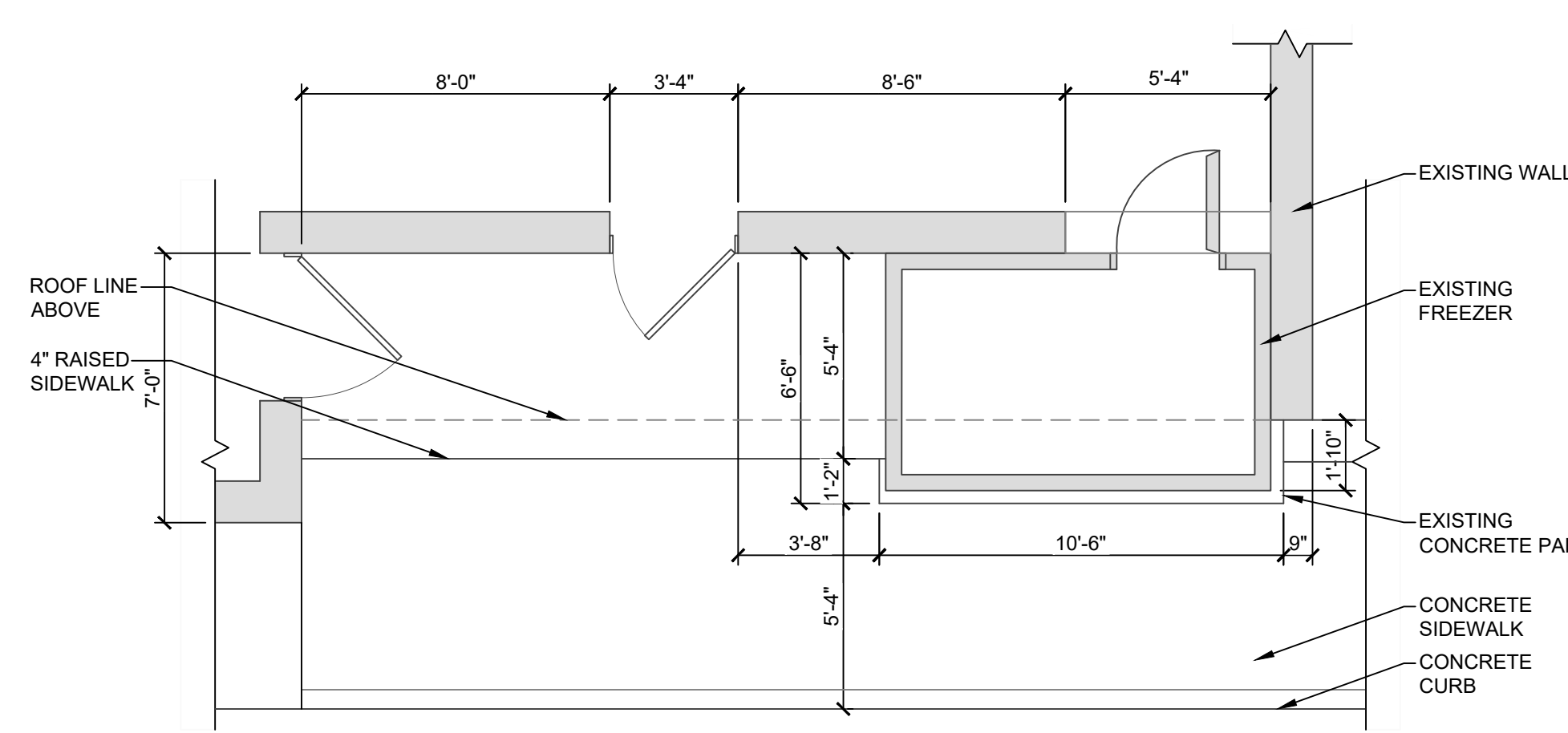
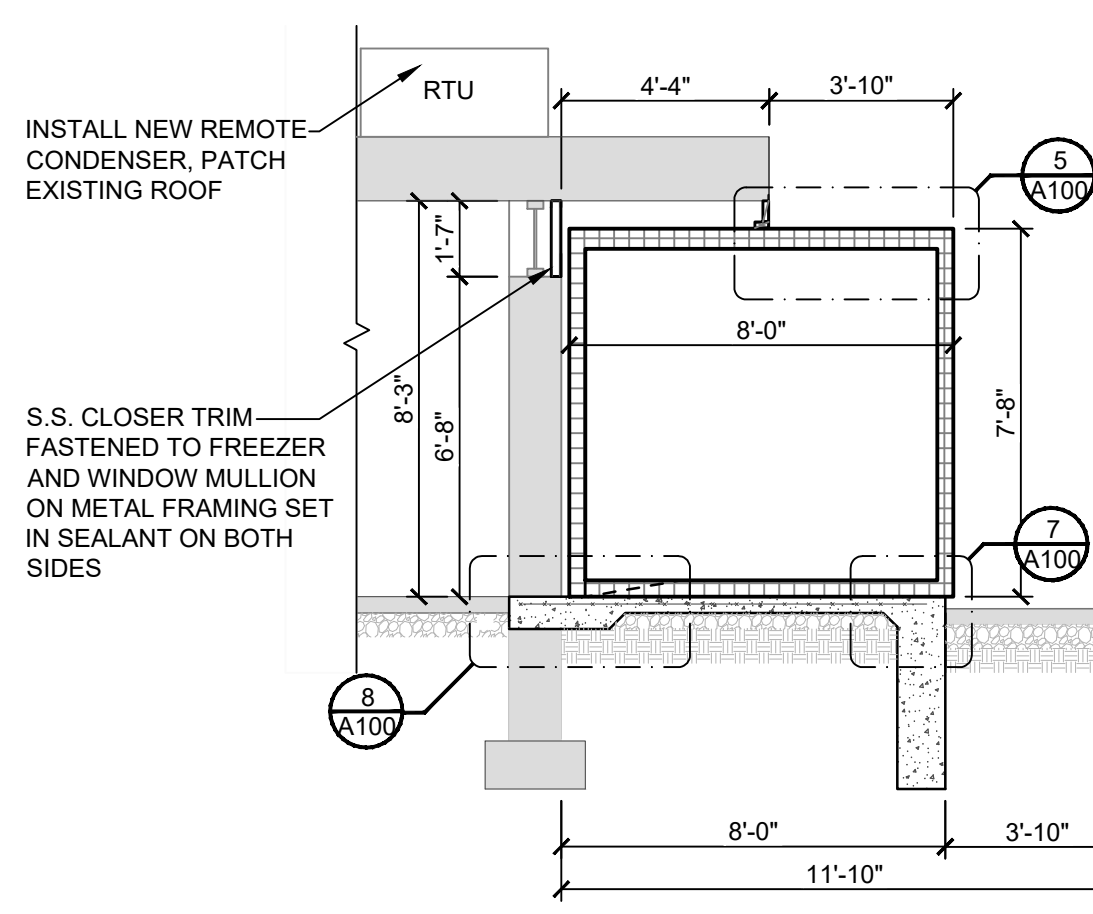
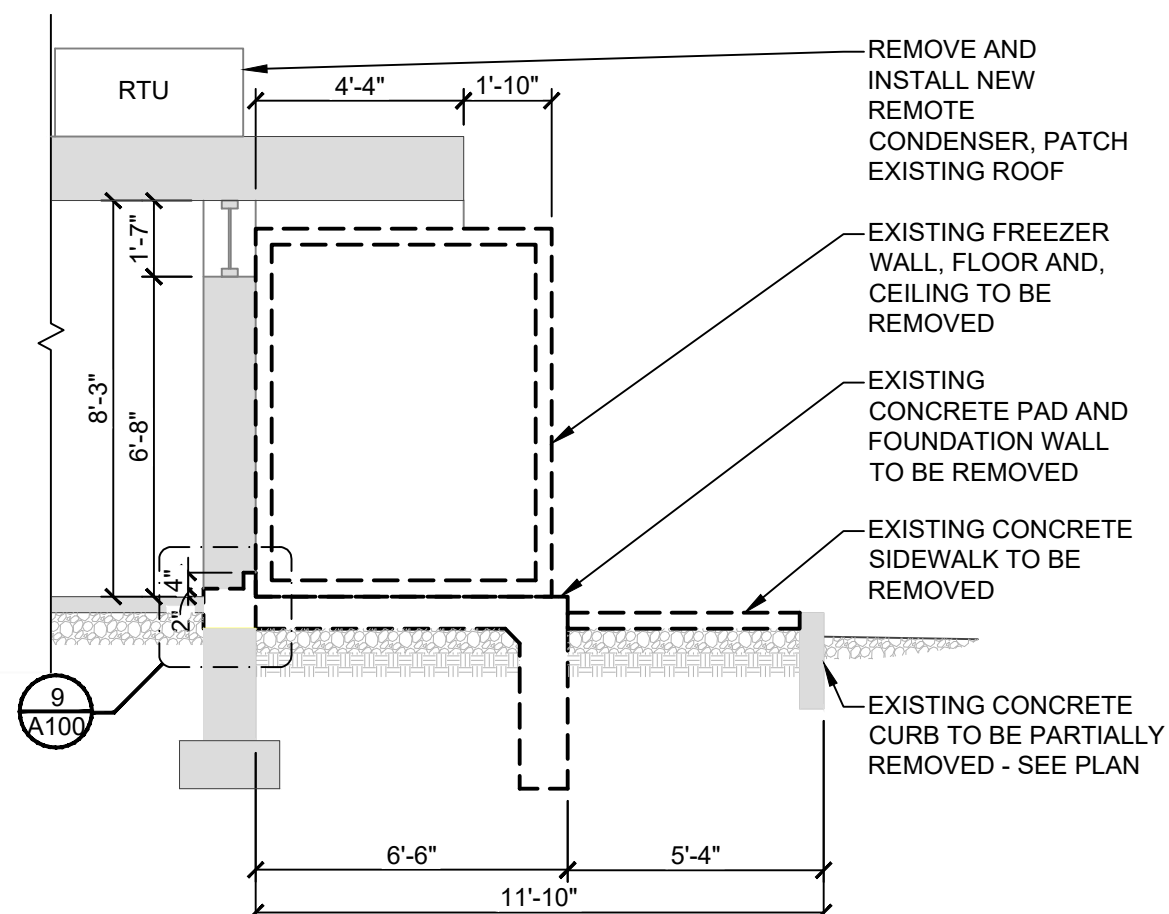
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DATE: 05/06/2022

SCALE:

TITLE SHEET

JOB No. 220180
G001



GENERAL STRUCTURAL NOTES:

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- REFER TO AND COORDINATE ALL WORK WITH EQUIPMENT DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, UNDERFLOOR DUCTS, FLOOR DEPRESSIONS, ETC. NOT SHOWN ON THE DRAWINGS. COORDINATE LOCATION, SIZE AND REINFORCEMENT OF ALL OPENINGS WITH RESPECTIVE TRADES BEFORE FABRICATION.

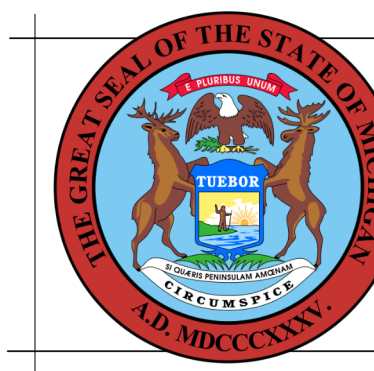
CONCRETE NOTES:

- ALL SHEETING, SHORING AND BRACING REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 301.
- FOUNDATION DESIGN BASED ON 2000 PSF NET ALLOWABLE SOIL BEARING PRESSURE. CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY BEARING CONDITIONS PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL PROVIDE TESTING AND WRITTEN CONFIRMATION OF FILL MATERIAL DENSITY AND COMPACTION AND PROVIDE COPIES OF ALL REPORTS TO THE ENGINEER AND BUILDING OFFICE.
- CONCRETE TESTING - CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY THE SLUMP, AIR ENTRAINMENT AND PROVIDE (3) CYLINDER SAMPLES FOR EACH DAY'S POUR, OR EACH 50 CY. OF CONCRETE WHICHEVER OCCURS MOST OFTEN. CONCRETE TESTING SHALL OCCUR FOR ALL CURB, FOOTING, FLOOR SLAB, AND EXTERIOR SLAB CONCRETE.
- ALL CONCRETE SHALL BE SHALL BE 3,500 PSI Limestone AGGREGATE, 4"-6" SLUMP AIR ENTRAINMENT, 4%-6% NO ADMIXTURES ARE TO BE INCLUDED WITHOUT PRIOR WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE CHLORIDE IONS THAN ARE CONTAINED IN MUNICIPAL DRINKING WATER ARE PROHIBITED. THE CHLORIDE ION LEVEL OF ADMIXTURES MUST BE BELOW 0.075 PERCENT OF WEIGHT.
- ALL REINFORCING STEEL WORK MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS & REQUIREMENTS OF THE 'CONCRETE REINFORCING STEEL INSTITUTE'. (CRSI).
- MILD STEEL REINFORCEMENT. DEFORMED BARS - ASTM A615, GRADE 60 WELDED WIRE FABRIC (W.W.F.) - ASTM A185
- PROVIDE POSITIVE SUPPORT FOR REINFORCEMENT PRIOR TO PLACING CONCRETE TO ASSURE CORRECT POSITIONING AND TO MAINTAIN 3 INCH MINIMUM CLEAR CONCRETE COVER AT BOTTOM AND SIDES OF ALL FOOTINGS AND THICKENED SLABS.
- PROVIDE BENT BAR DOWELS OR HOOKED VERTICAL BARS AT ALL FOOTINGS INTO FOUNDATION WALLS AS INDICATED ON THE DRAWINGS.
- PROVIDE 24 INCH BY 24 INCH CORNER BARS AT ALL FOOTING AND FOUNDATION WALL INTERSECTIONS MATCHING THE SIZE AND SPACING OF CONTINUOUS HORIZONTAL REINFORCING.
- WHEN REINFORCEMENT IN LAP SPliced, PROVIDE CLASS B SPLICE TYPICAL, UNLESS NOTED OTHERWISE.
- PROVIDE A 3/4" INCH CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE.
- CONCRETE FINISHES:
EXTERIOR SLABS - LIGHT BROOM FINISH
INTERIOR SLABS - STEEL TROWEL FINISH
INTERIOR SLABS THAT DO NOT RECEIVE A FINISH FLOORING MATERIAL SHALL BE SEALED AFTER CURING.
- SAW CUT SLABS 1/4 SLAB DEPTH, MINIMUM, IN GRIDS AS INDICATED ON THE FOUNDATION PLAN. APPROXIMATELY TWO-HUNDRED TWENTY-FIVE SQUARE FEET, (225 S.F.), AREA. REMOVE EVERY OTHER CROSS WIRE IN W.W.F. PERPENDICULAR TO LINE OF SAW CUT PRIOR TO POURING CONCRETE TO FACILITATE SHRINKAGE CRACKING AT SAW CUT. CONSULT STRUCTURAL ENGINEER FOR REQUESTED OR SUGGESTED DEVIATIONS IN SAW CUT LOCATIONS OR PROCEDURES.

FREEZER SPECIFICATION:

- INSIDE MEASUREMENTS: 12'-4" W x 7'-4" D x 6'-10 7/8" H
- 4'-5" THICK INSULATED PANELS
- ROOF MEMBRANE (WHITE OR TAN)
- INSULATED FLOOR
- SMOOTH PANELS ON FLOOR
- 30" DOOR WITH DEADBOLT LOCKING HANDLE AND INSIDE SAFETY RELEASE
- HD CAM LIFT HINGES
- SPRING ACTUATED DOOR CLOSER
- DOUBLE FLOOR SWEEP GASKET
- MAGNETIC GASKET
- PERIMETER DOOR HEATER
- STRIP CURTAINS
- NO-SKID FLOOR STRIPS ON FLOOR AND RAMP
- TEMPS DOWN TO -10°
- EXTERIOR DIGITAL TEMP GAUGE
- LED LIGHT WITH SWITCH
- SHELVING BOTH SIDES, DUNNAGE RACK AT REAR
- AIR-COOLED CONDENSER MOUNTED AT REAR OF UNIT (REMOTE ON ROOF). MUST HAVE REMOVABLE COVER FOR COMPONENTS
- 208/230 1 PHASE
- TIME CLOCK CONTROLLED DEFROST
- HIGH TEMP ALARM WITH WARNING LIGHT
- (1) YEAR REFRIGERATION WARRANTY
- (1) YEAR COMPRESSOR WARRANTY
- (30) DAY LABOR / SERVICE WARRANTY
- (10) YEAR AND (3) MONTH WALK-IN PANEL WARRANTY
- (1) YEAR REPLACEMENT PARTS WARRANTY

FREEZER SHALL BE: THERMALRITE WALK-IN FREEZER, 13' x 8' x 7'-8" HIGH EXTERIOR FREEZER OR APPROVED EQUAL.



BUILDING

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PROJECT NAME:
OTTAWA ELEMENTARY SCHOOL FREEZER REPLACEMENT PROJECT
109 OTTAWA STREET
BUCHANAN, MI 49107

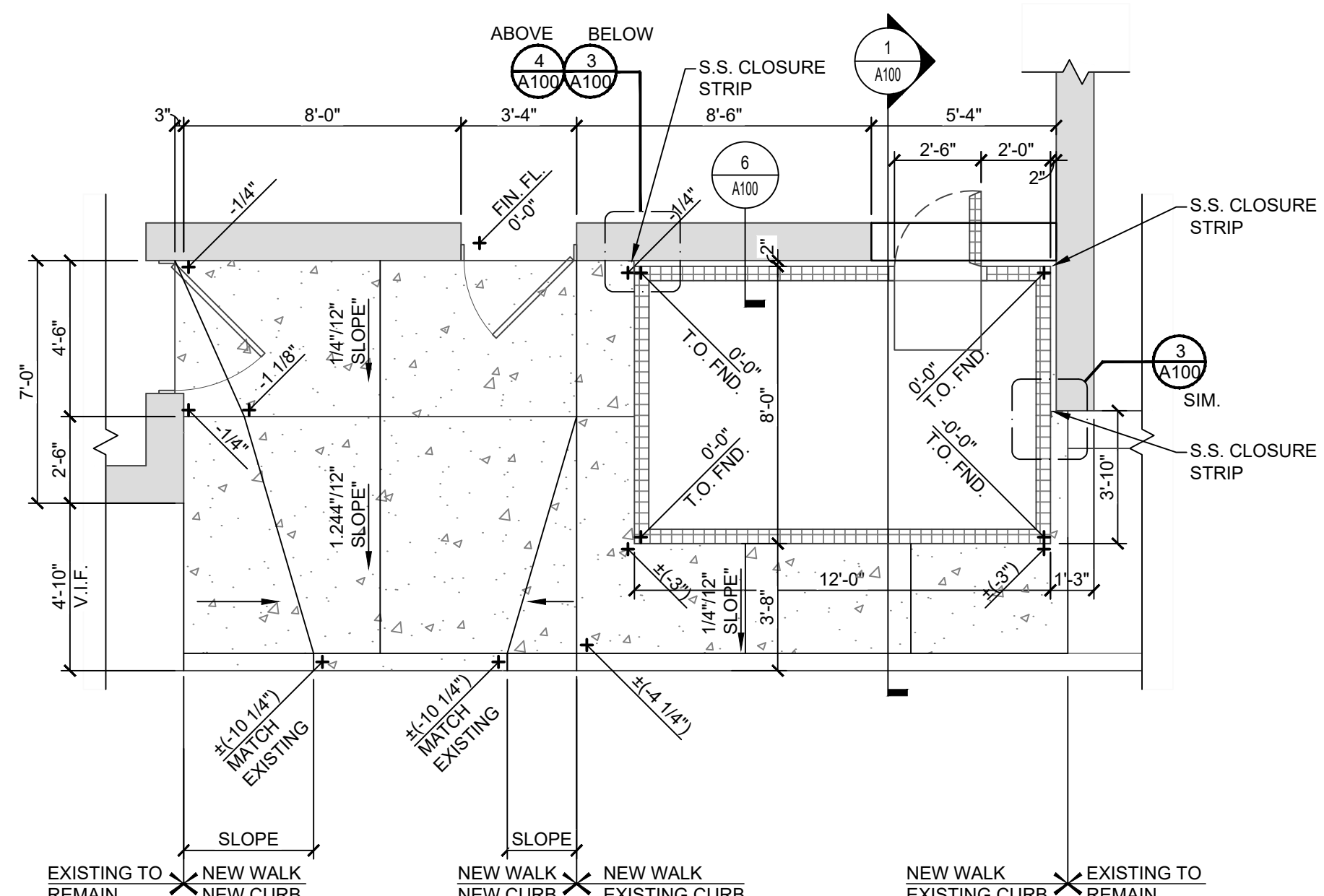
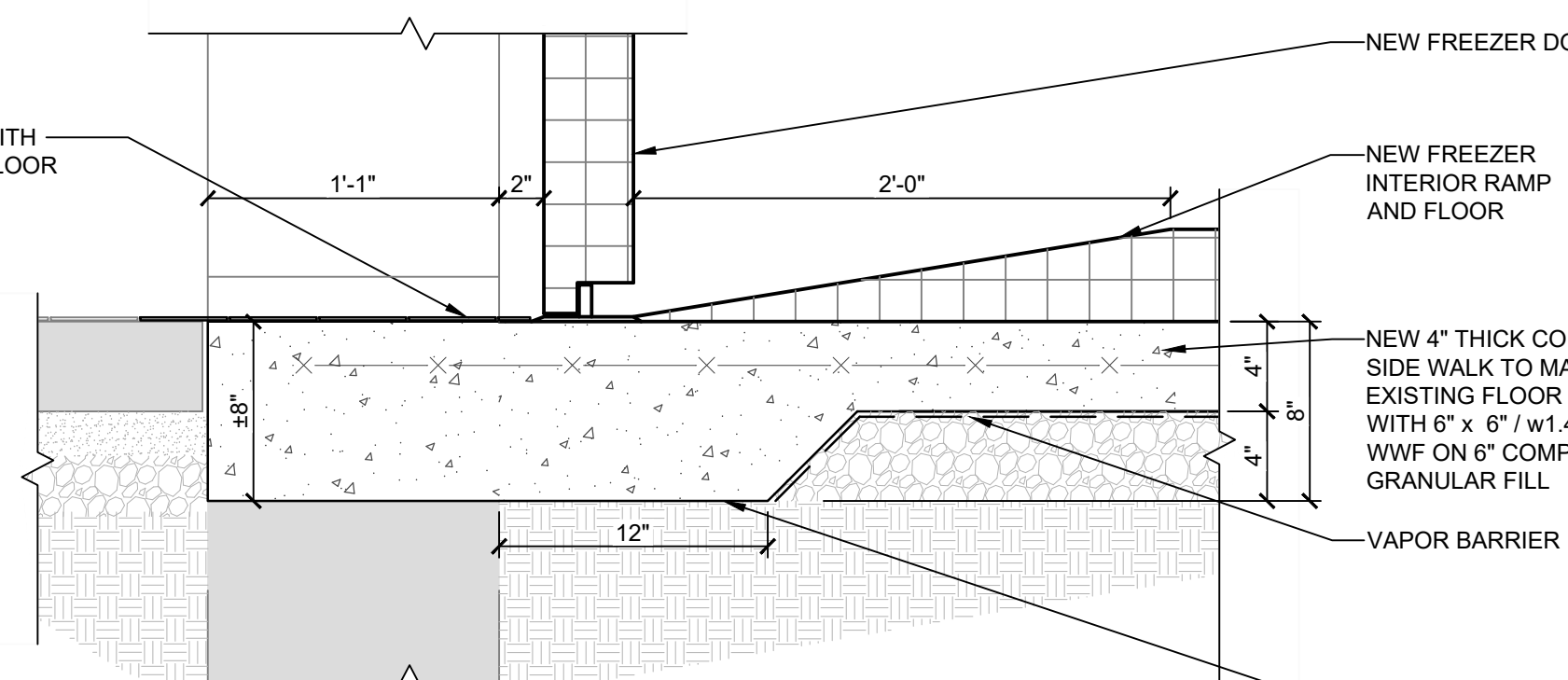
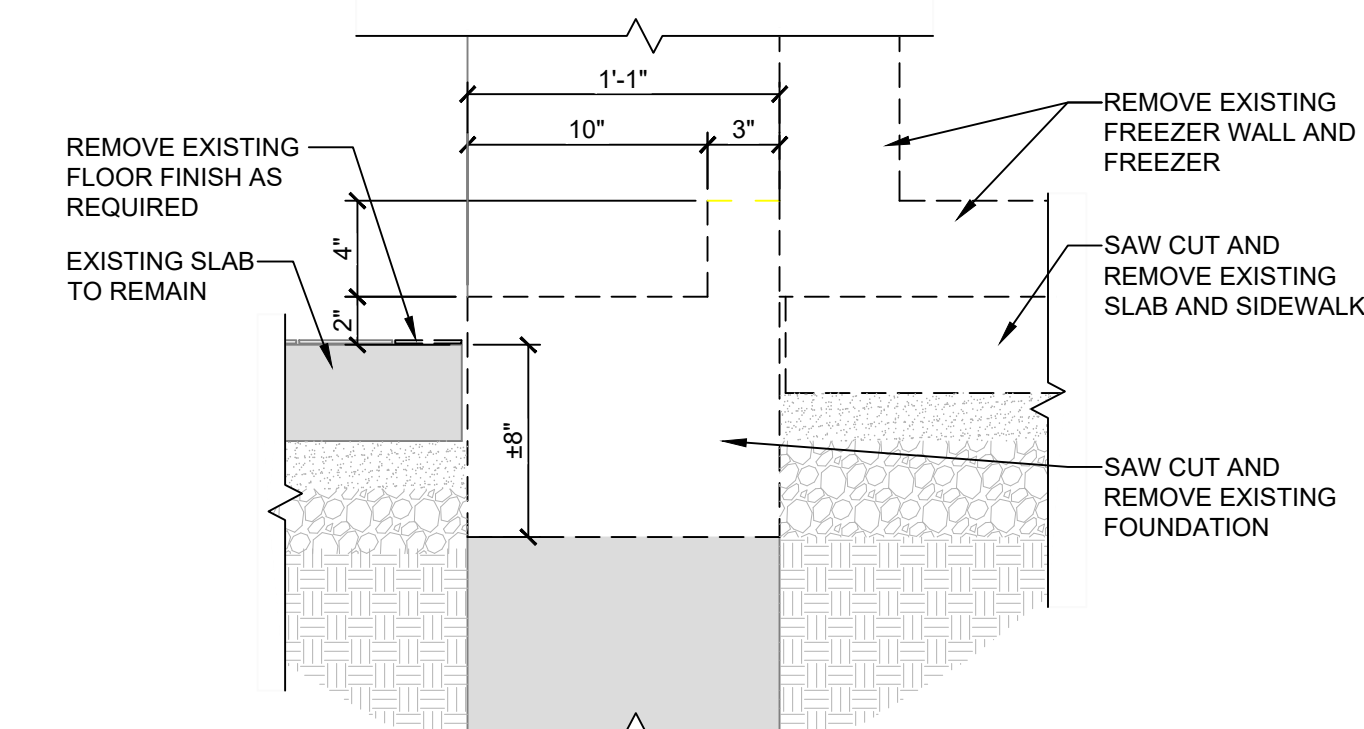
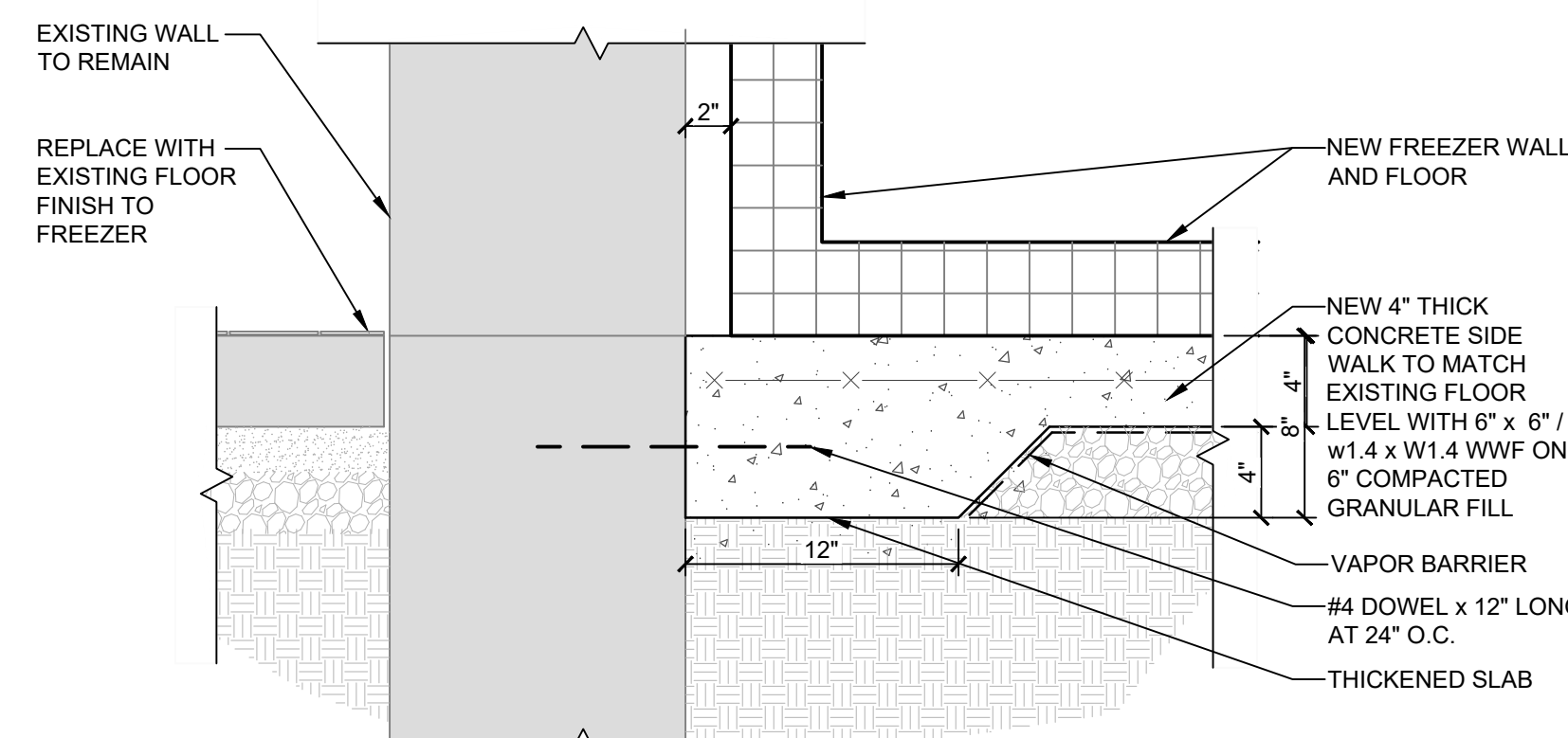
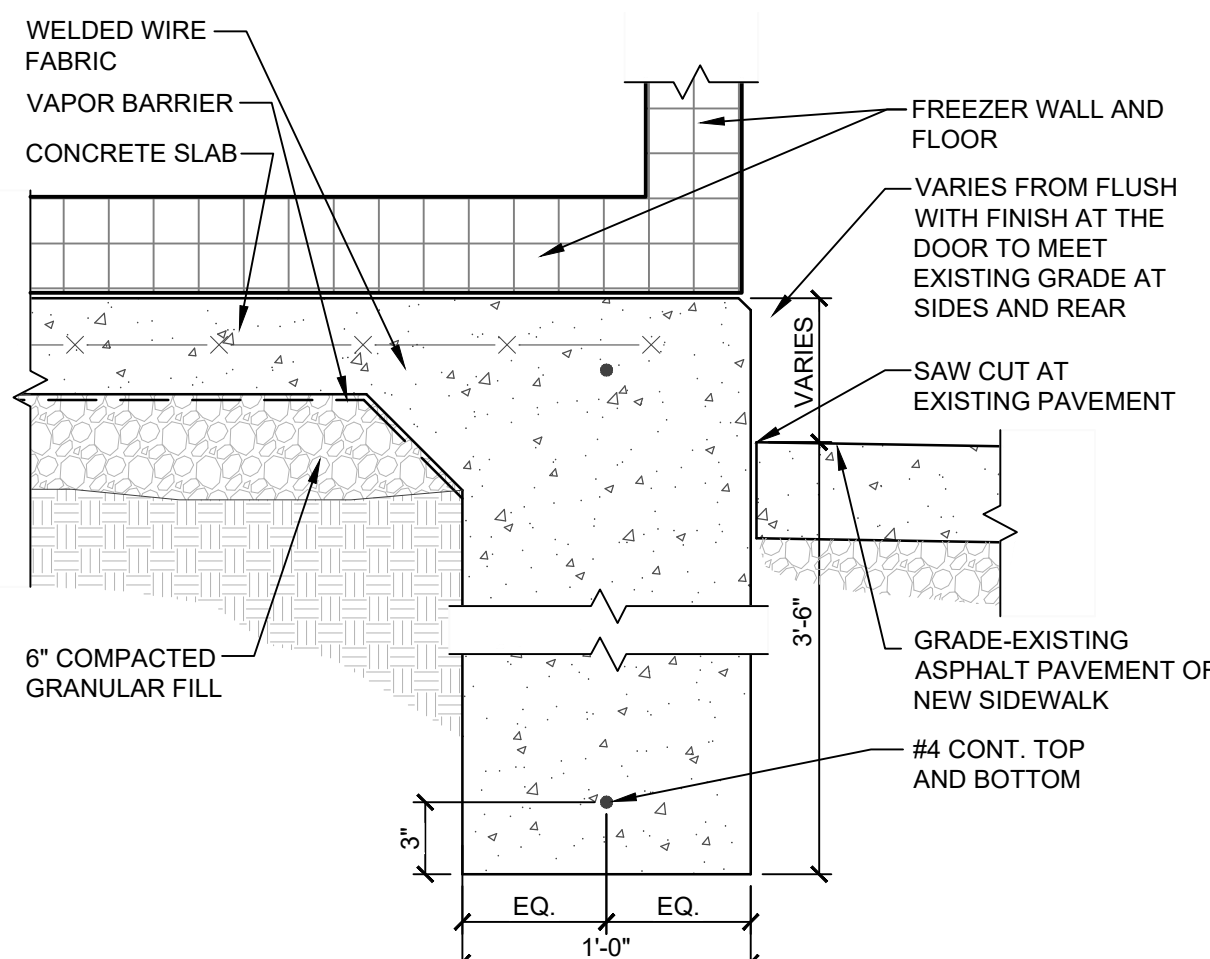
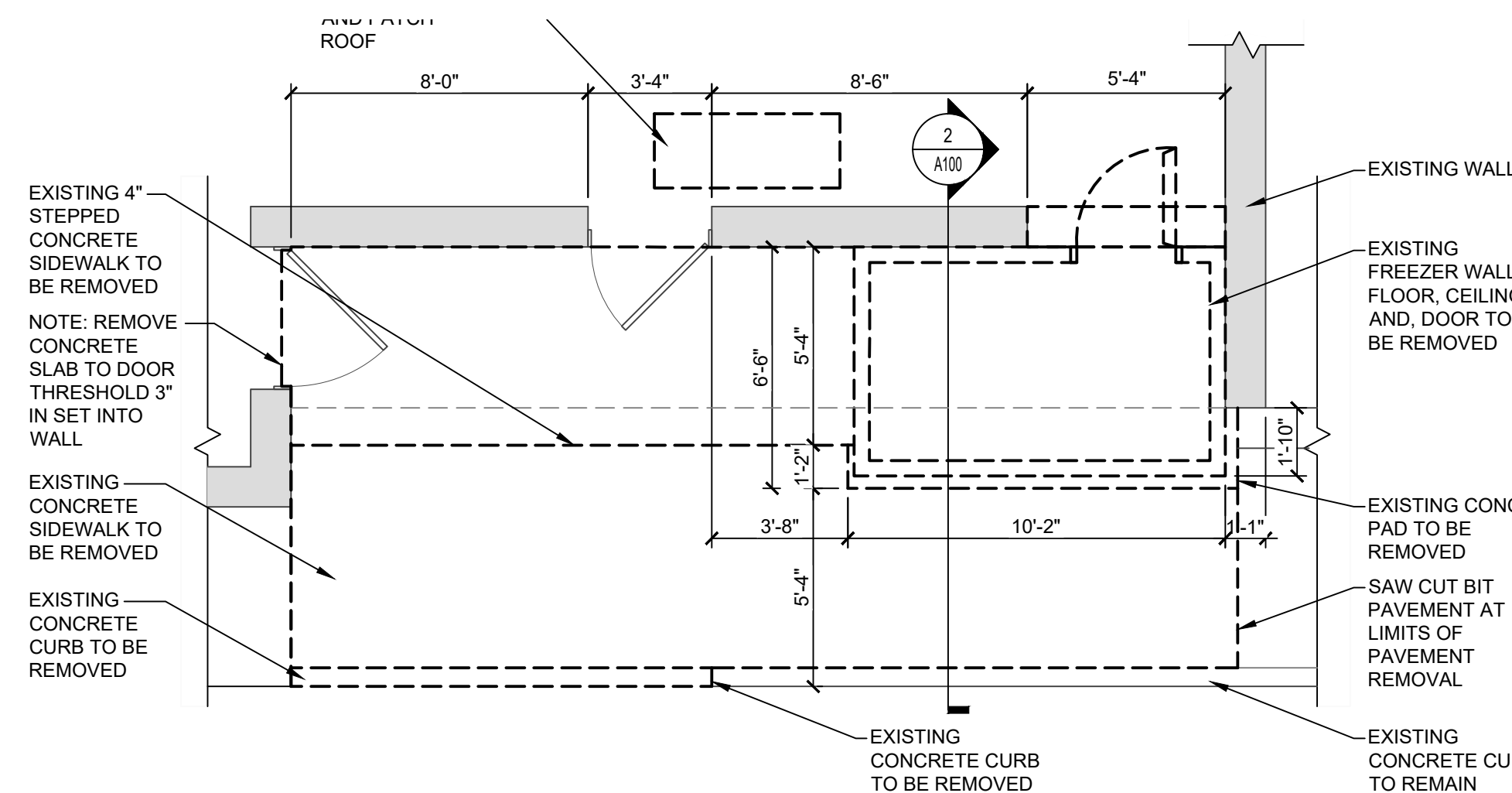
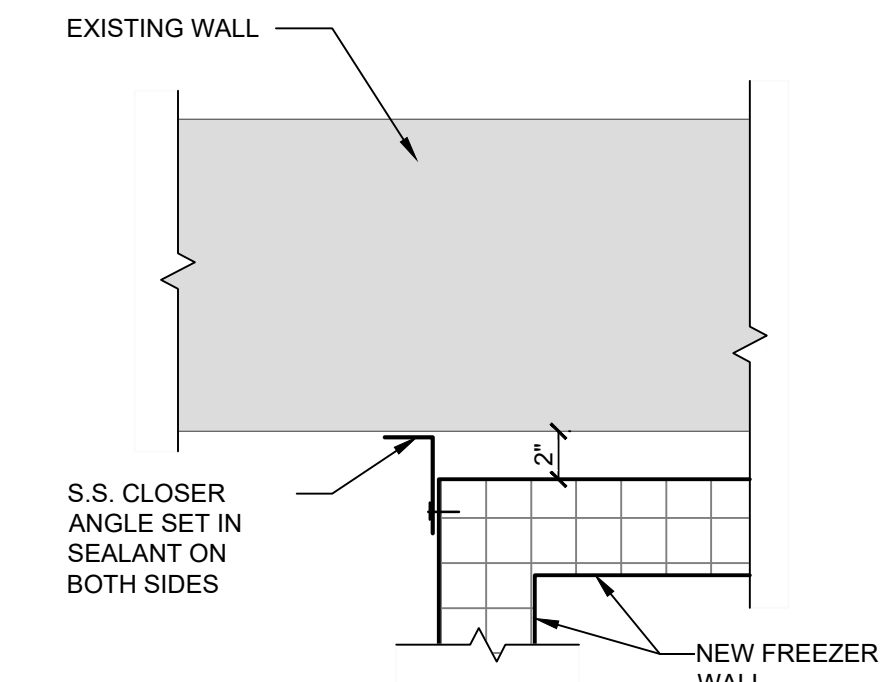
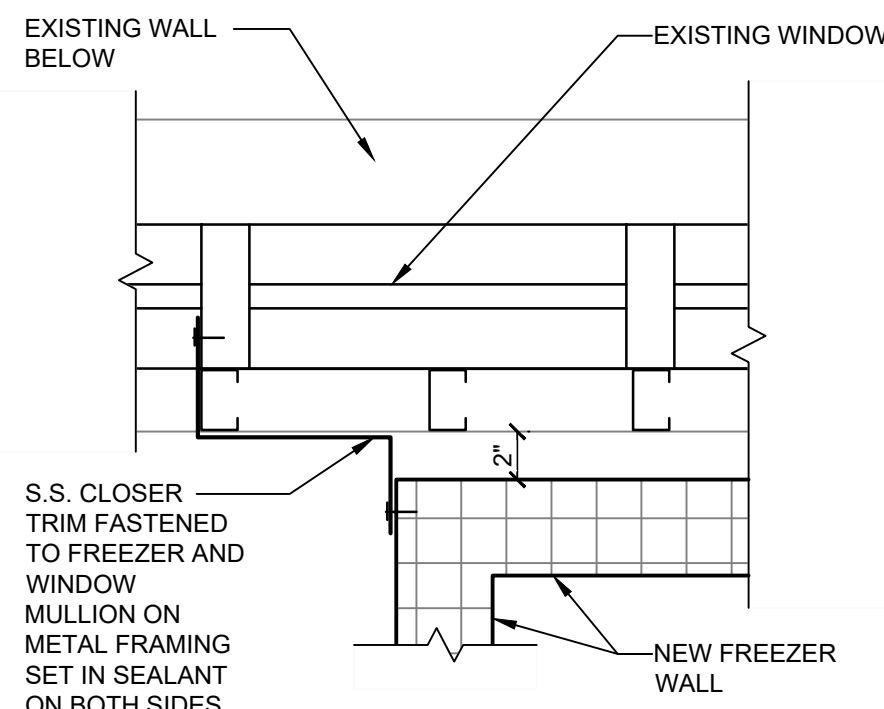
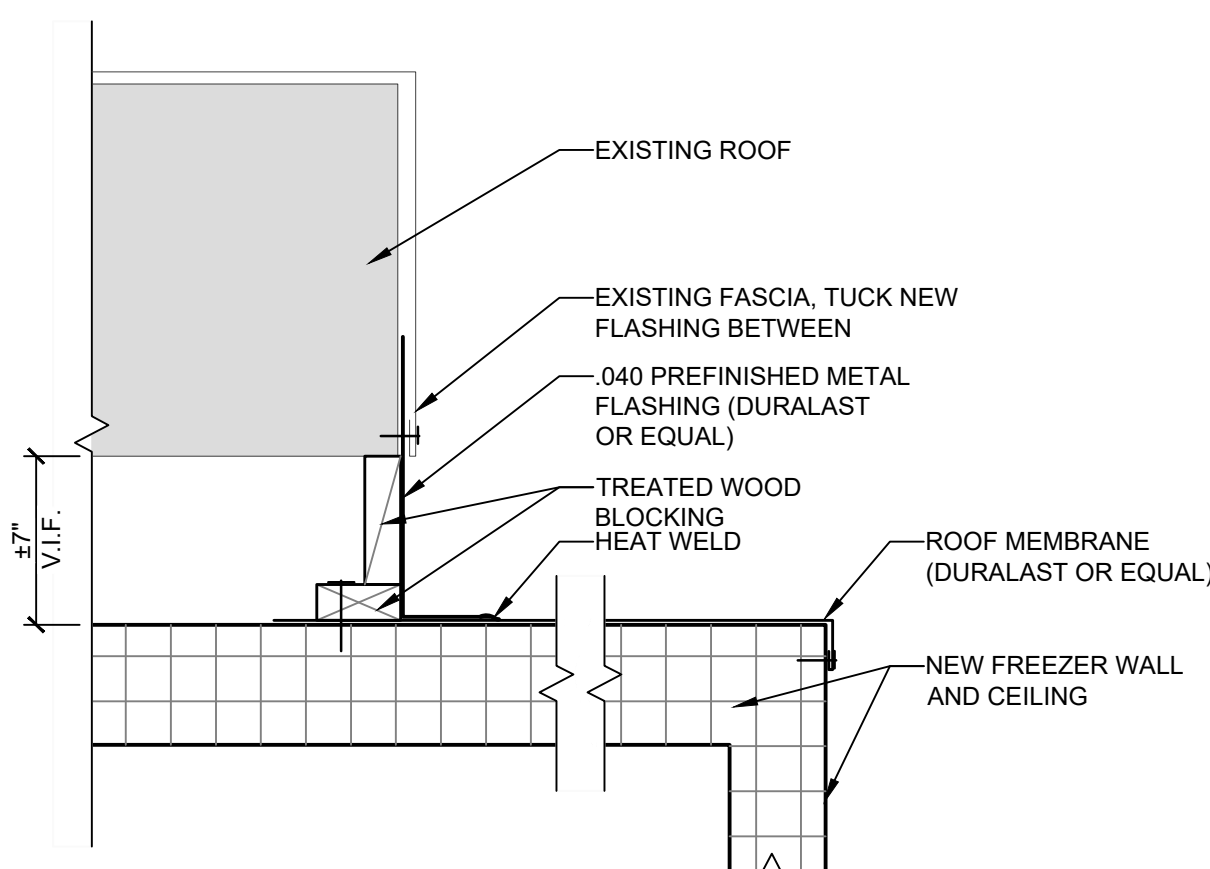
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SCALE:

FLOOR PLANS & DETAILS

JOB NO. 220180
A100





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OTTAWA ELEMENTARY SCHOOL FREEZER REPLACEMENT PROJECT

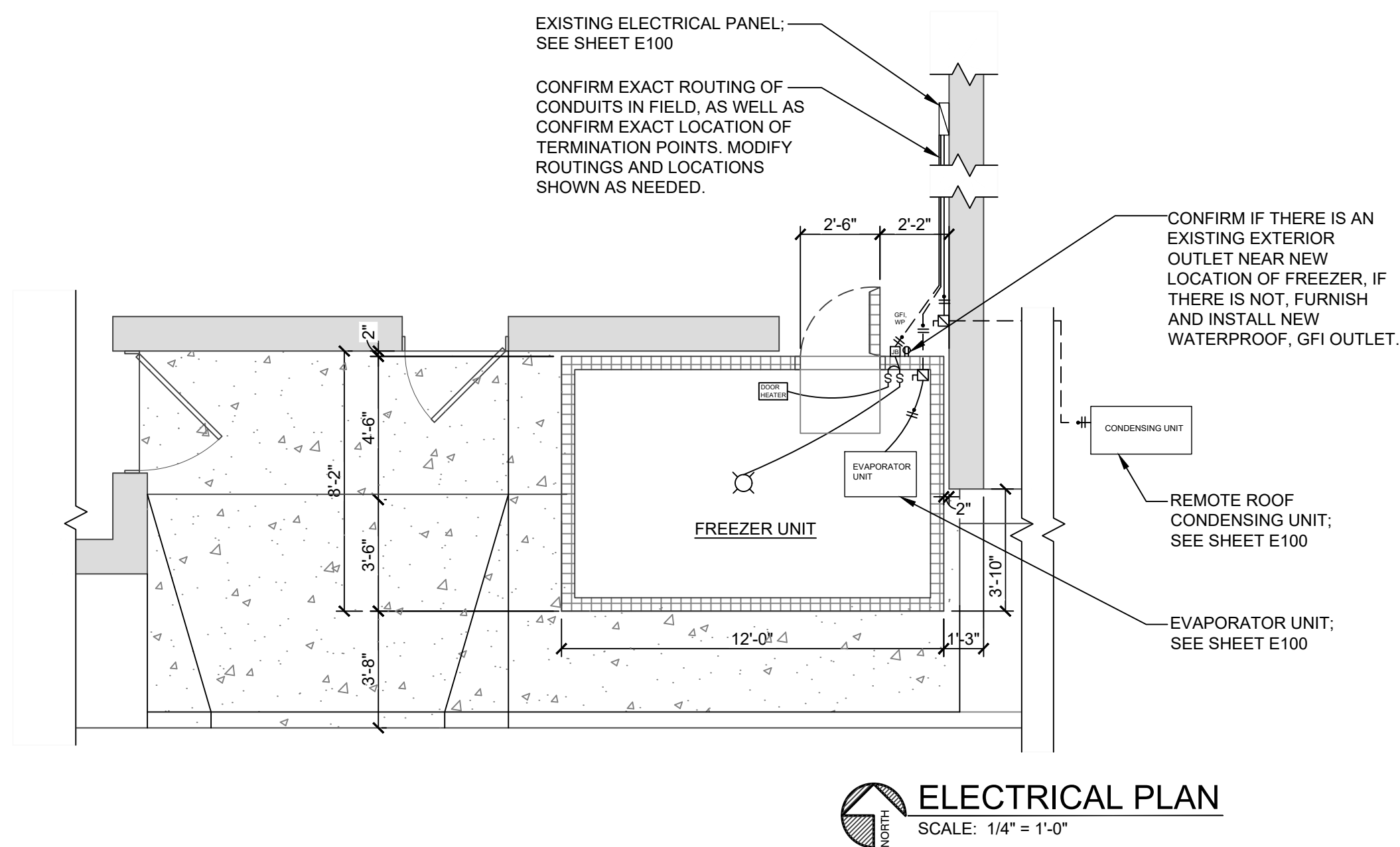
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**BUCHANAN
COMMUNITY
SCHOOLS**

401 W CHICAGO STREET
BUCHANAN, MI 49107

GENERAL ELECTRICAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES AND STANDARDS.
2. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS/CONDUCTORS RUN CONCEALED IN FINISHED AREAS.
3. INSTALL POWER AND CONTROL WIRING AND REQUIRED CONTROL COMPONENTS FOR AIR CONDITIONING SYSTEMS AS SHOWN/NOTED ON THESE DRAWINGS AND PER OTHER APPLICABLE DRAWINGS/INSTRUCTIONS.
4. WIRE SIZE SHALL BE #12 MIN., UNLESS OTHERWISE NOTED. WIRE SIZES SMALLER THAN #6 AWG SHALL BE THIN/THWN, #6 AWG WIRE & LARGER SHALL BE THW, UNLESS NOTED OTHERWISE.
5. WIRE (CONDUCTOR) COLORS SHALL BE AS PER APPLICABLE CODES.
6. ALL CONDUCTORS SHALL BE COPPER.
7. LOW VOLTAGE CONTROL & COMM. CABLES, THESE SHALL BE PLENUM RATED.
8. ALL MATERIALS SHALL BE UL APPROVED.
9. ALL EMPTY CONDUITS TO BE PROVIDED WITH NYLON PULL CHORD.
10. NEW TYPEWRITTEN PANEL DIRECTORY SHALL BE FURNISHED AFTER JOB IS COMPLETED REFLECTING ALL AS BUILT CONDITIONS.
11. ALL BRANCH CIRCUITS SHALL BE PROPERLY BALANCED.
12. FUSES SHALL BE DUAL ELEMENT, TIME DELAY TYPE UNLESS OTHERWISE NOTED.
13. CONTRACTOR TO COORDINATE ROUGHING-IN REQUIREMENTS FOR ALL EQUIPMENT W/ RESPECTIVE SUPPLIER PRIOR TO INSTALLING CONDUCTORS.
14. THE ELECTRICAL DEVICES SHOWN ARE FOR BIDDING QUANTITY. ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRICAL DEVICE LOCATIONS WITH THE OWNER BEFORE ROUGH IN AND ALTER LOCATIONS AS REQUIRED. THE FINAL LOCATIONS MUST MEET CODE REQUIREMENTS.



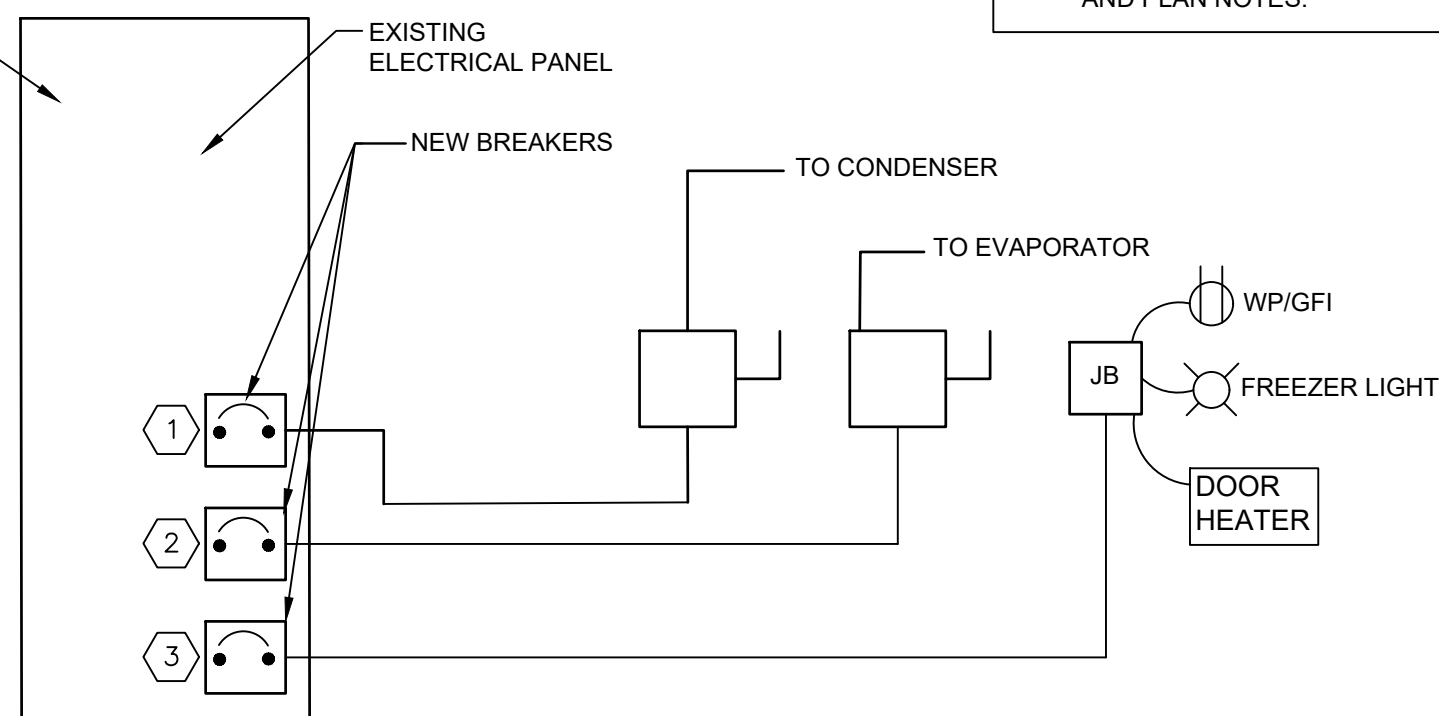
GENERAL NOTES:

1. CONDUIT INSIDE BUILDING TO BE EMT. WHEN OUTSIDE, RUN CONDUIT 36" BELOW GRADE TO FREEZER, UTILIZING PVC40 BELOW GROUND AND TRANSITIONING TO GRC WHEN ABOVE GROUND.
2. IT IS PERMISSIBLE TO RUN ALL WIRING IN SAME CONDUIT. UPSIZING CONDUIT TO MEET ALL NEC REQUIREMENTS.
3. WIRING TO BE THHN/THWN, 75 DEGREE RATED.

PLAN NOTES:

1. FURNISH AND INSTALL A 35A, 2 POLE BREAKER IN EXISTING 225A, 208Y/120V PANEL IN SPARE SPACE. RUN R#6, IN 1" CONDUIT FROM PANEL TO NEMA 3P EXTERIOR RATED 35A, 208V, 2 POLE DISCONNECT, AND ON TO CONDENSER, DISCONNECT TO BE INSTALLED IN SIGHT OF CONDENSER.
 2. FURNISH AND INSTALL A 20A, 2 POLE BREAKER IN EXISTING 208Y/120V PANEL IN SPARE SPACE. RUN R#3 #12, IN 1" CONDUIT FROM PANEL TO NEMA 3P EXTERIOR RATED 20A, 208V, 2 POLE DISCONNECT, AND ON TO EVAPORATOR. DISCONNECT TO BE INSTALLED IN SIGHT OF EVAPORATOR.
 3. FURNISH AND INSTALL A 120V, 20A BREAKER IN EXISTING PANEL IN SPARE SPACE. RUN R#3 #12 IN 1" CONDUIT FROM PANEL TO EXTERIOR OUTLET, FREEZER LIGHTS AND DOOR HEATER.
4. REUSE EXISTING ELECTRICAL RISER DIAGRAM TO SHOW THE LOCATION OF THE FREEZER CIRCUITS AND CIRCUIT BOX FEEDING THEM. REUSE THE EXISTING CIRCUITS AND CIRCUIT BREAKERS IF ACCEPTABLE. REPLACE CIRCUITS AND BREAKERS IF THE EXISTING ARE NOT AS CALLED OUT IN THE ELECTRICAL RISER DIAGRAM AND PLAN NOTES.

RE-USE SPARE SPACES
IN EXISTING KITCHEN
SUBPANEL FROM
BREAKERS FEEDING
PREVIOUS FREEZER.
REPLACE BREAKERS
WITH AMPERAGE SIZES
AS INDICATED. IF NOT
ENOUGH SPARE SPACE,
UTILIZE THE OTHER
EXISTING PANEL IN
SAME ROOM. IF NOT
ENOUGH SPARES
AVAILABLE, PROVIDE AN
ADDITIONAL 60A
SUBPANEL, FED FROM
THE SMALL KITCHEN
SUBPANEL, WITH THE
UNDERSTANDING THAT
THE OLD KITCHEN
CIRCUITS ARE NO
LONGER BEING USED,
AND THEREFORE NOT
ADDING ADDITIONAL
LOAD.



ELECTRIC RISER PLAN

SCALE: 1/8" = 1'-0"



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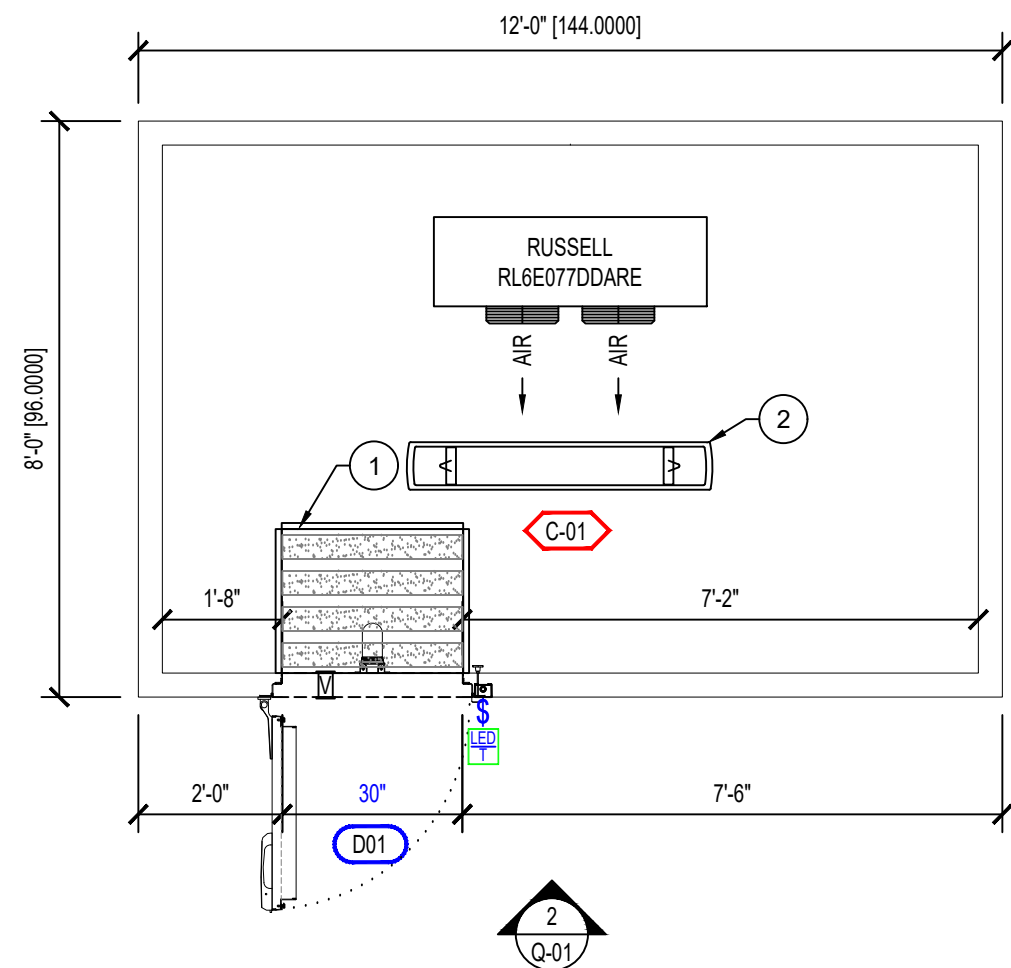
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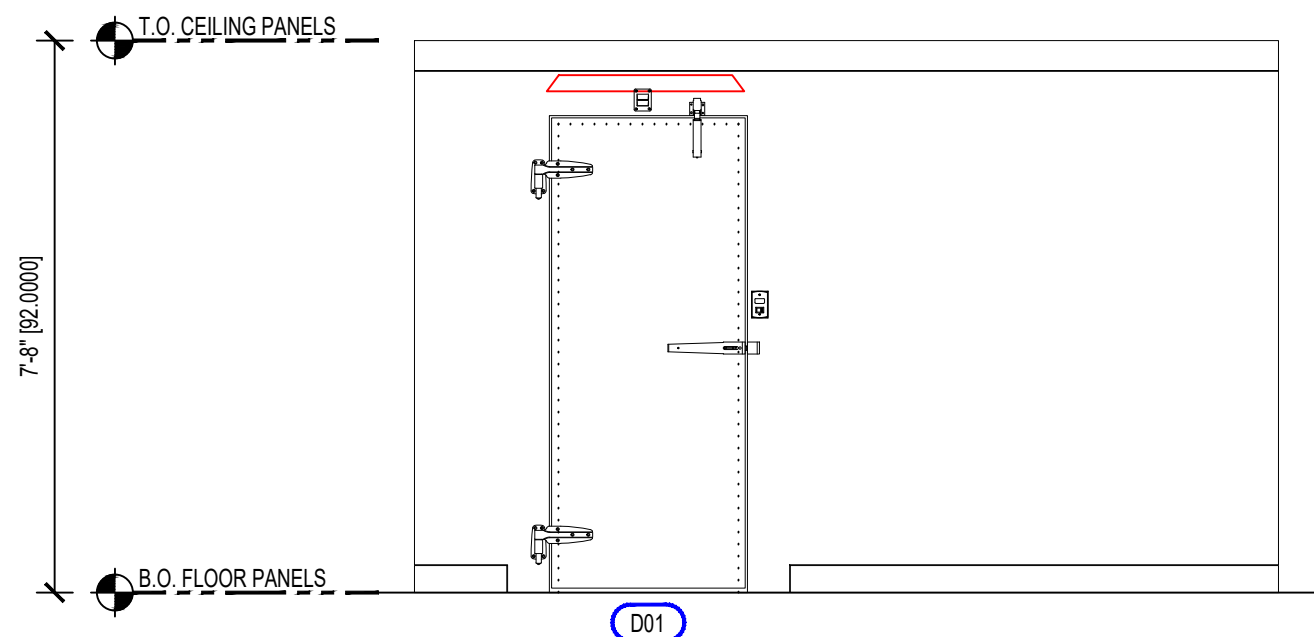
ELECTRICAL FLOOR PLAN & DETAILS

JOB No. 220180

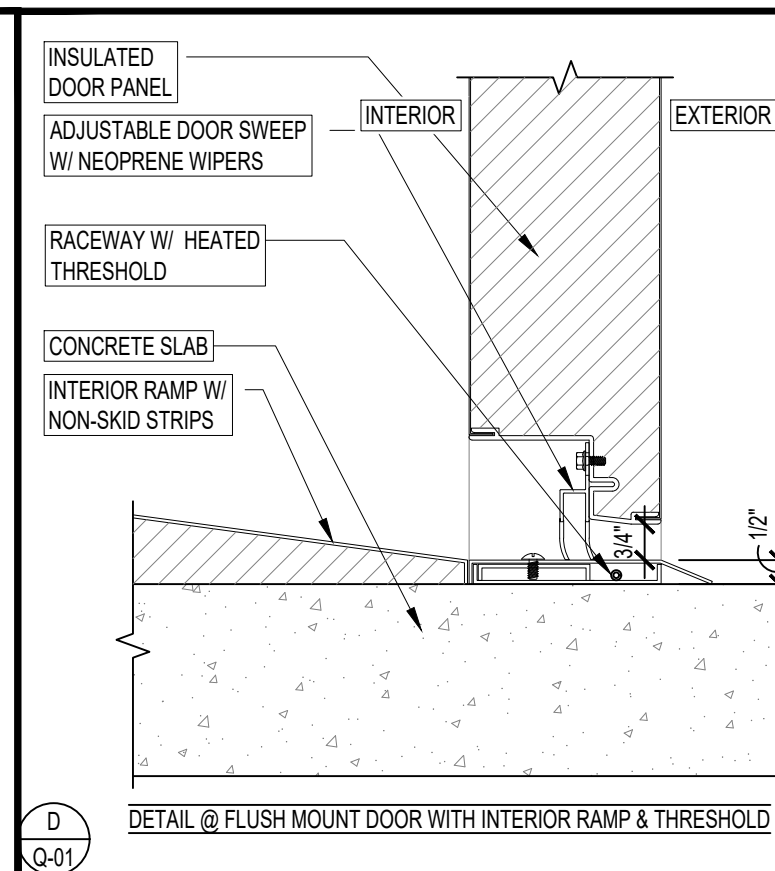
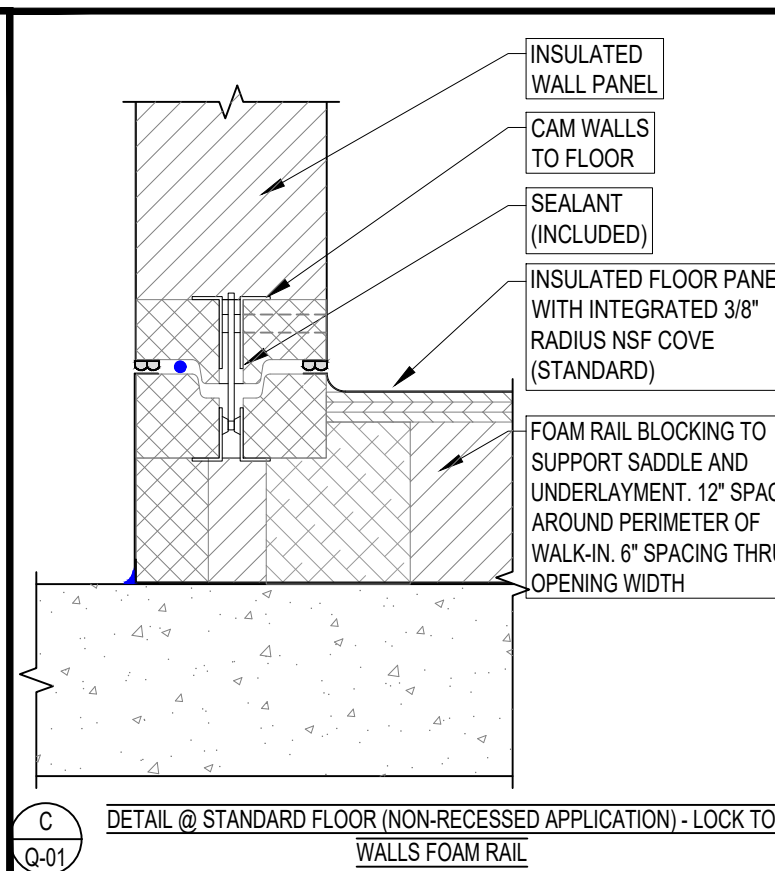
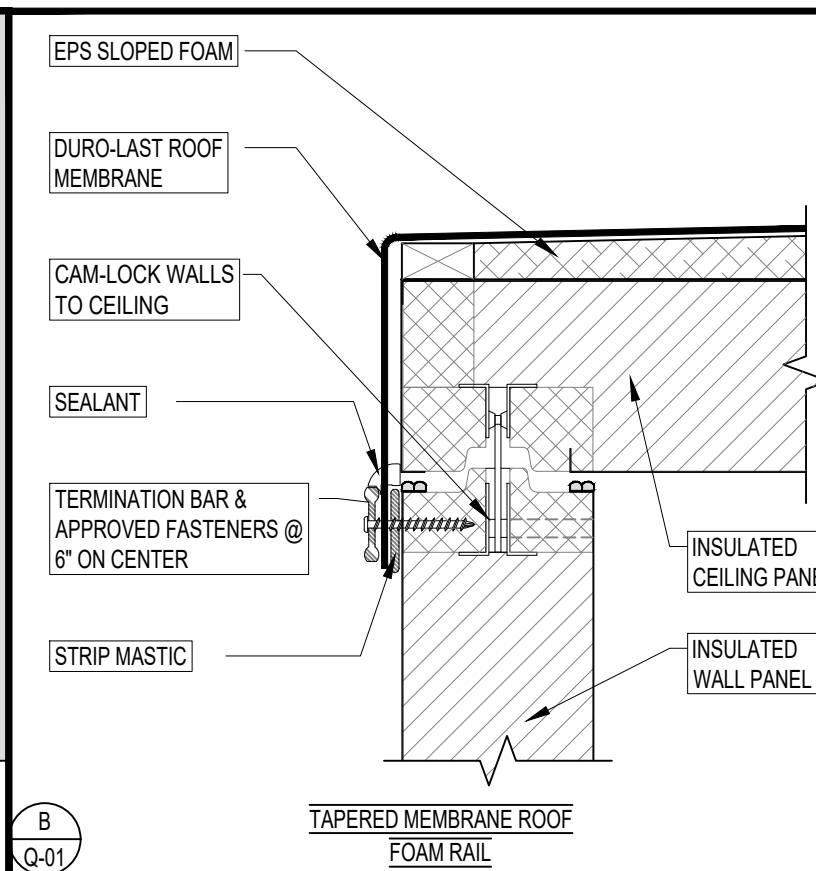
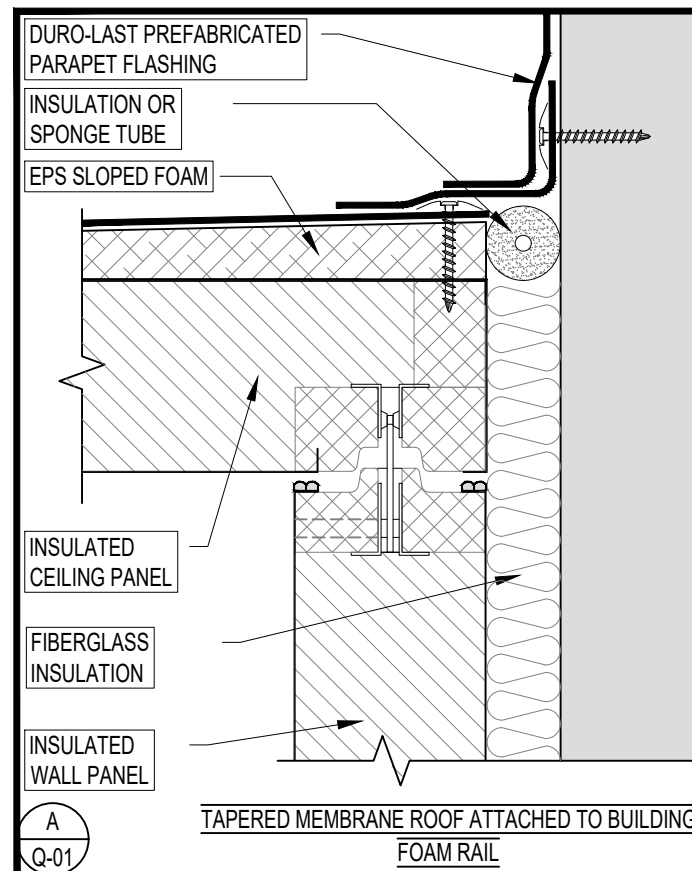
E100



1 WALL PANEL PLAN
Q-01



2 ELEVATION
Q-01



FOR APPROVAL ONLY

GENERAL NOTES	APPROVAL INITIALS
A. CAULK: BUTYL (24 TUBES) B. CAULK: SILICONE GREY (4 TUBES) C. ROOF CAP: DURO-LAST TAPERED MEMBRANE - 40 MIL - DIM A = 14' 0" DIM B = 10' 0" LAP LENGTH = 14' 0". D. EPS FOAM (SLOPED); DIM A=14' 0" DIM B=10' 0" SLOPE DIRECTION=8 0". E. SEPARATION SLIP SHEET: DURO-LAST DURO-BLU (1 ROLL) F. SILICONE FOR MEMBRANE (4 TUBES)	

KEY NOTES	APPROVAL INITIALS
1. RAMP: 30"Wx24"D - CENTER TO OPENING (INT) 2. LIGHT FIXTURE: (1) EVERIDGE - 45W LED - 48" - TYPICAL	

COMPARTMENT SCHEDULE	APPROVAL INITIALS
C-01 HEIGHT: 92" -10°F FREEZER TO CEILING: LOCK DETAIL: B/Q-01 LOCK TO FLOOR (NSF) DETAIL: C/Q-01 WALL PANEL RAIL: FOAM THICK: 4" DETAIL: C/Q-01 FINISHES: INT/EXT - ACRYLUME/EMBOSSD - 26 GA CEILING PANEL RAIL: FOAM THICK: 5" FINISHES: INT/EXT - ACRYLUME/EMBOSSD - 26 GA FLOOR PANEL RAIL: FOAM THICK: 4 1/8" RECS: X" FINISHES: INTERIOR - ALUMINUM/SMOOTH - .050 EXTERIOR - ACRYLUME/EMBOSSD - 26 GA	

DOOR SCHEDULE - SWING	APPROVAL INITIALS
D01 36"W x 78"H FREEZER SLIP MOUNT ALLOWANCE DETAIL: D/Q-01 FLUSH MOUNT CLOSER: KASON 1094 VENT: KASON 1825 115V HEATED VIEWPORT: HINGE: KASON 1248 QTY: 2 LATCH: KASON 27C RELEASE: SWITCH / ALARM: 1967-2 DIGITAL THERMOMETER W/ SWITCH LIGHT: KASON 1806 - LED (MOUNTED TO JAMB) MAGNETIC GASKET RAIN HOOD (HINGED) DOORJAMB HEAT (120V) - "X" = YES JAMB: X B.O. DOOR THRESHOLD: X	

REFRIGERATION	APPROVAL INITIALS
CONDENSING UNIT FOR HOLDING FREEZER • MANUFACTURER: HTPG - RUSSELL DCE • DESCRIPTION: HEAT-GEN MINI-COM CONDENSING UNIT LOW TEMPERATURE SCROLL COMPRESSOR: 208-230V/180 FLOODED NO DEFROST PROVISIONS • MODEL: RPO20XL4SDANT • HORSEPOWER: 2.3333HP • EXTRAS: • ELECTRICAL: 208-230V/180, RLA 12.4359, MOPD 25, MCA 17.5 • CONDITIONS: BTUH 7330 ROOM TEMP -10°F AMBIENT 95°F • WARRANTY: COMPRESSOR/MOTOR WARRANTY EXTENDED TO 5-YEARS, PARTS ONLY, NO LABOR 1 X EVAPORATOR UNIT COOLER • MANUFACTURER: HTPG - RUSSELL DCE • DESCRIPTION: ELECTRIC DEFROST LOW-PROFILE WITH DUAL SPEED EC MOTOR COIL • MODEL: RL6E07DDARE • EXTRAS: • ELECTRICAL: 208-230V/180, FAN AMPS 1, DEFROST AMPS 9.8	



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KALAMAZOO
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ROYAL OAK
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www.gowightman.com

EVERIDGE
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EVERIDGE
15600 37TH AVE N. SUITE 100
PLYMOUTH, MN 55446
PHONE (763) 541-1410 FAX (763) 541-1563
https://www.everidge.com

COMPLIANCE
WALK-INS MEET OR EXCEED ALL PRESCRIPTIVE STANDARDS OF THE ENERGY INDEPENDENCE AND SECURITY ACT (EISA) OF 2007

REFERENCE SYMBOL LEGEND
ELEVATION REF. KEY NOTE X DX DOOR TAG X C-XX COMPARTMENT TAG X JIG JAMB GUARDS (Opening Free) X DL DAIRY LIP (Opening Free) X TM T-MOLDING (Opening Free) X DATUM POINT X REVISION NUMBER

SITE NOTATION
• WHEN APPLICABLE - DOES BUILDING FLOOR HAVE TILE AND GROUT INSTALLED BEFORE OR AFTER WALK-IN INSTALLATION IF SO PROVIDE TILE THICKNESS • ALLOW 2" FOR COOLER AND FREEZER MINIMUM AIR SPACE ALL AROUND WALK-IN FOR AMPLE AIR CIRCULATION

WARNINGS:
• TO AVOID DOOR DAMAGE, DO NOT REMOVE FREEZER DOOR HEATERS PRIOR TO STARTUP OF REFRIGERATION • TO AVOID DISCOLORATION OF METAL ON PANELS, PROPERLY VENTILATE EACH ROOM IF THE OIL MASONRY WORK IS TO BE DONE • CORNERS AND T-WALLS TO BE ONE PIECE CONSTRUCTION W/ 3/8" RADIUS AT ALL INSIDE VERTICAL CORNERS, JOINTS SEALED W/ PVC GASKET AT INT. & EXT. PERIMETER OF PANELS, CONNECTED W/ CAM-LOCK FASTENERS • ALL CEILING AND WALL PANELS ARE NOT DESIGNED TO CARRY ADDITIONAL CONDENSING UNIT WEIGHT UNLESS SPECIFICALLY NOTED OTHERWISE AND DESIGNATED IN PLAN

ELECTRICAL NOTICE
• ALL ELECTRICAL COMPONENTS WITHIN THE WALK-INS, IE LIGHT SWITCHES, PRESSURE RELIEF PORTS, JAMB HEATERS SHALL BE FACTORY PRE-WIRED, FOR HOOK UP BY ELECTRICAL CONTRACTOR • ALL LIGHT FIXTURES SUPPLIED ARE SHIPPED LOOSE FOR INSTALLATIONS BY ELECTRICAL CONTRACTOR • ThermalRite SHALL ACCEPT NO RESPONSIBILITY FOR ANY BACK CHARGES ASSOCIATED WITH INSTALLATION OF LIGHT FIXTURES OR FIELD WIRING CONNECTIONS.

CONCRETE SLAB / PAD NOTICE
• SLAB / PAD MUST BE LEVEL WITHIN 1/4" OVER 10'-0" IN ANY DIRECTION • SLAB / PAD MUST BE FLAT, SMOOTH, AND UNIFORM WITH MAXIMUM 1/4" TOTAL DEVIATION OVER 10'-0" STRAIGHTEDGE IN ANY DIRECTION I HEREBY ACKNOWLEDGE THAT I HAVE BEEN INFORMED OF THE ABOVE SLAB / PAD REQUIREMENTS AND FAILURE TO COMPLY WILL RESULT IN REFUSAL TO INSTALL AND/OR WILL VOID ANY WARRANTY COVERAGE FOR ISSUES ON THIS WALK-IN RESULTING FROM SUCH INSTALLATION. X

00 08/12/2022 FOR STATE PLAN REVIEW
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REV	DESCRIPTION	DATE	BY
1			

Approval Status Block

Drawing Reviewed By:

Review Date:

Please Check Appropriate Field

Approved as Drawn:

Revise and Resubmit:

Customer Service Rep.

CHRIS EVERS

Submittal Drafter Shop Drafter

BS

Save Dwg Date: 8.9.2022

Customer/Dealer

SEFA - GREAT LAKES HOTEL SUPPLY (MI)
24101 W 9 MILE RD
SOUTHFIELD, MI 48033-3972

Site Information

OTTAWA ELEMENTARY

BUCHANAN MI 49107

Create Dwg Date: 08.09.2022

Project # E035959-01

Sheet # Q-01

FOR APPROVAL ONLY



15600 37TH AVE N. SUITE 100
PLYMOUTH, MN 55446
PHONE: (763) 541-1410 FAX: (763) 541-1563
https://www.everidge.com



COMPLIANCE

WALK-INS MEET OR EXCEED ALL PRESCRIPTIVE STANDARDS OF THE ENERGY INDEPENDENCE AND SECURITY ACT (EISA) OF 2007

SITE NOTATION

- WHEN APPLICABLE - DOES BUILDING FLOOR HAVE TILE AND GROUT INSTALLED BEFORE OR AFTER WALK-IN INSTALLATION. IF SO PROVIDE TILE THICKNESS.
- ALLOW 2" FOR COOLER AND FREEZER MINIMUM AIR SPACE ALL AROUND WALK-IN FOR AMPLE AIR CIRCULATION.

WARNINGS:

- TO AVOID DOOR GASKET DAMAGE, DO NOT ENERGIZE FREEZER DOOR HEATERS PRIOR TO STARTUP OF REFRIGERATION.
- AVOID DISCOLORATION OF METAL ON PANELS. PROPERLY VENTILATE EACH ROOM IF TILE OR MASONRY WORK IS TO BE DONE.

CONSTRUCTION (STANDARD)

- CORNERS AND T-WALLS TO BE ONE PIECE CONSTRUCTION W/ 3/8" RADIUS AT ALL INSIDE VERTICAL CORNERS, JOINTS SEALED W/ PVC GASKET AT INT. & EXT. PERIMETER OF PANELS, CONNECTED W/ CAM-LOCK FASTENERS.
- ALL CEILING AND WALL PANELS ARE NOT DESIGNED TO CARRY ADDITIONAL CONDENSING UNIT WEIGHT UNLESS SPECIFICALLY NOTED OTHERWISE AND DESIGNATED IN PLAN.

ELECTRICAL NOTICE

- ALL ELECTRICAL COMPONENTS WITHIN THE WALK-INS, I.E. LIGHT SWITCHES, PRESSURE RELIEF PORTS, JAMB HEATERS SHALL BE FACTORY PRE-WIRED, FOR HOOK UP BY ELECTRICAL CONTRACTOR.
- ALL LIGHT FIXTURES SUPPLIED ARE SHIPPED LOOSE FOR INSTALLATIONS BY ELECTRICAL CONTRACTOR.
- ThermalRite SHALL ACCEPT NO RESPONSIBILITY FOR ANY BACK CHARGES ASSOCIATED WITH INSTALLATION OF LIGHT FIXTURES OR FIELD WIRING CONNECTIONS.

CONCRETE SLAB / PAD NOTICE

- SLAB / PAD MUST BE LEVEL WITHIN 1/4" OVER 10'-0" IN ANY DIRECTION.
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I HEREBY ACKNOWLEDGE THAT I HAVE BEEN INFORMED OF THE ABOVE SLAB / PAD REQUIREMENTS AND FAILURE TO COMPLY WILL RESULT IN REFUSAL TO INSTALL AND/OR WILL VOID ANY WARRANTY COVERAGE FOR ISSUES ON THIS WALK-IN RESULTING FROM SUCH INSTALLATION.

X



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269.927.0100

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00 08/12/2022
FOR STATE PLAN REVIEW

1			
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REV	DESCRIPTION	DATE	BY
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Approval Status Block

Drawing Reviewed By:

Review Date:

Please Check Appropriate Field

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Revise and Resubmit:

Customer Service Rep.

CHRIS EVERS

Submittal Drafter Shop Drafter

BS

Save Dwg Date: 8.9.2022

Customer/Dealer

SEFA - GREAT LAKES HOTEL SUPPLY (MI)
24101 W 9 MILE RD
SOUTHFIELD, MI 48033-3972

Site Information

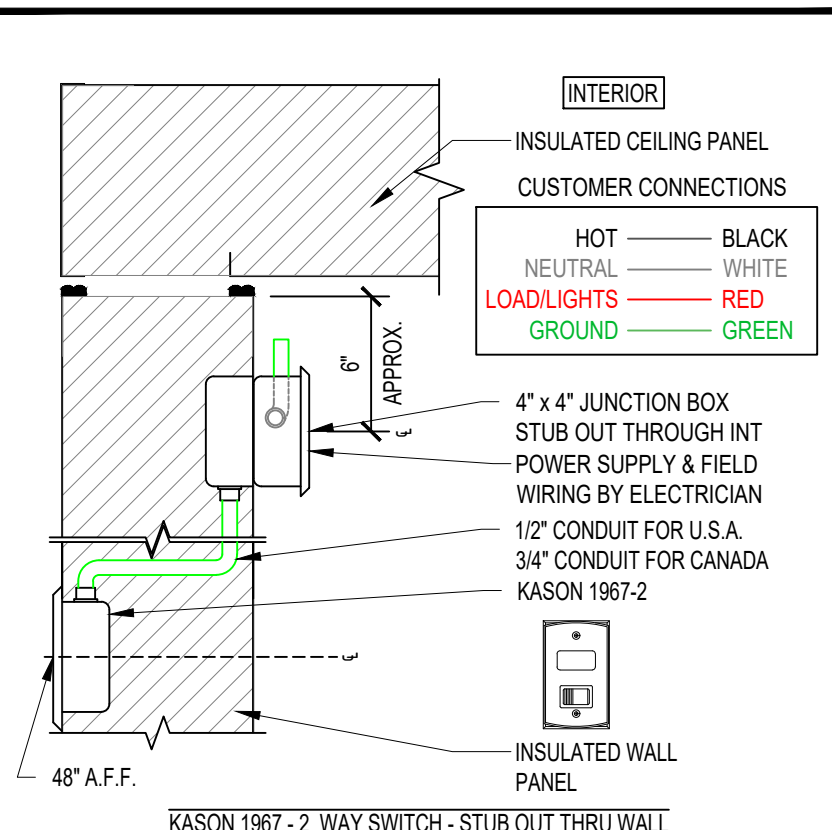
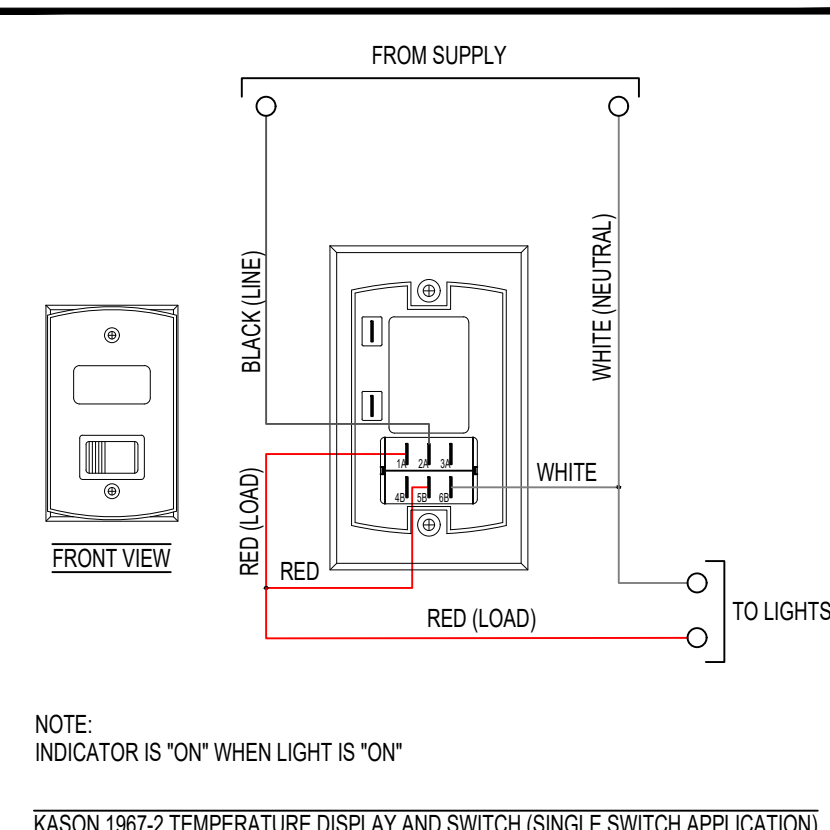
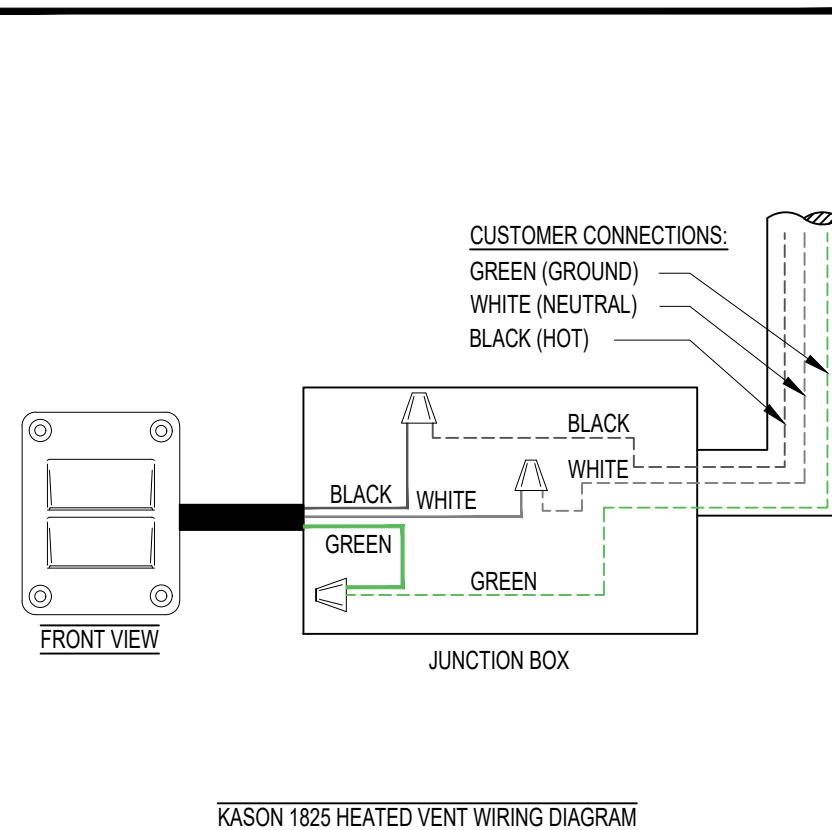
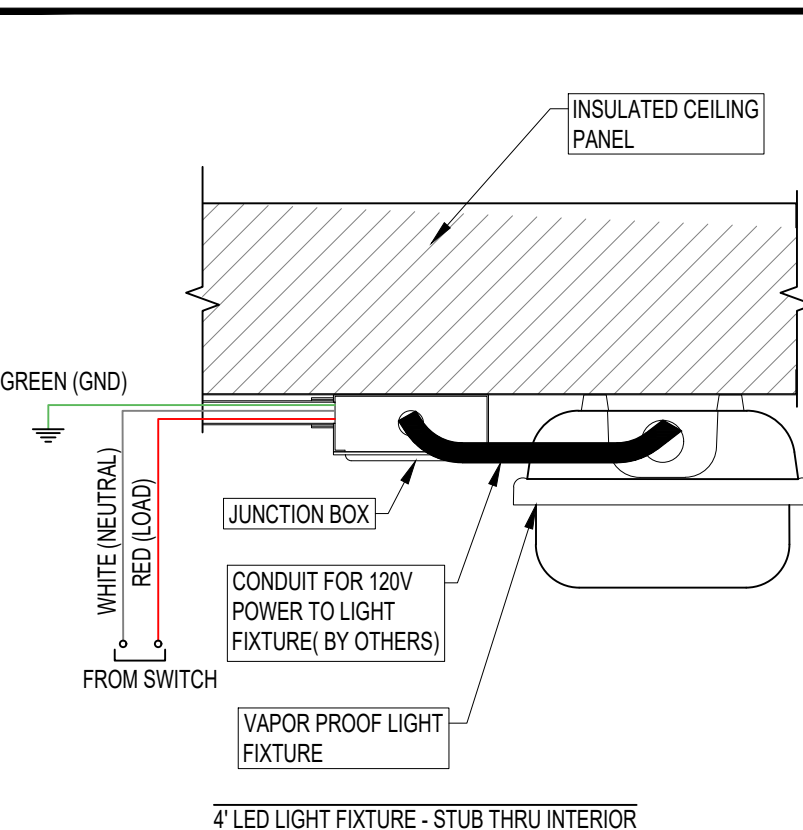
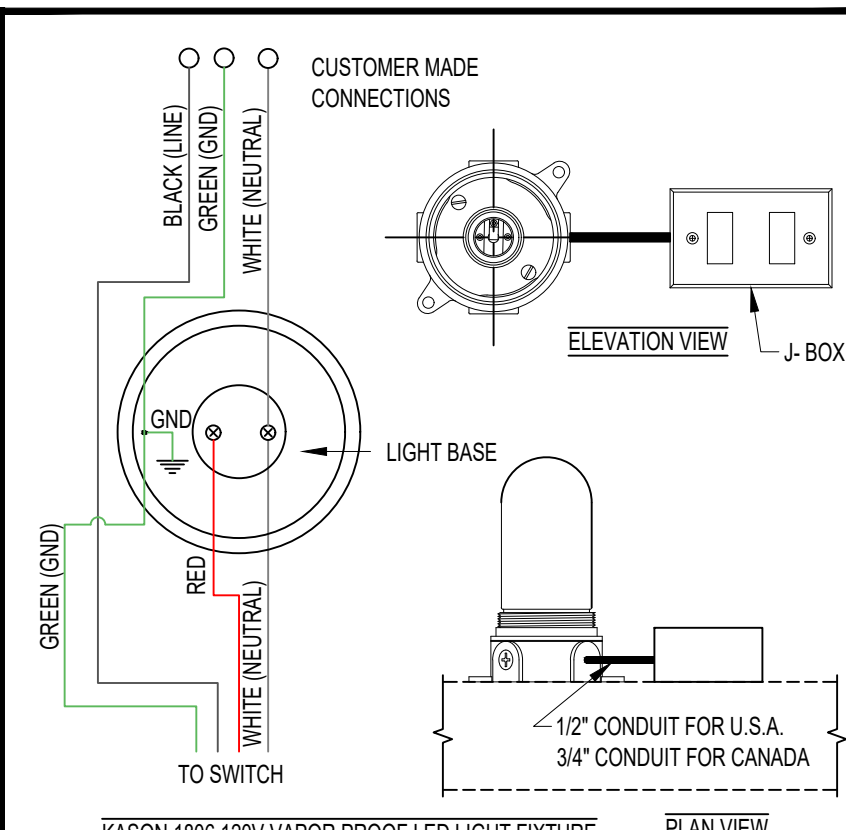
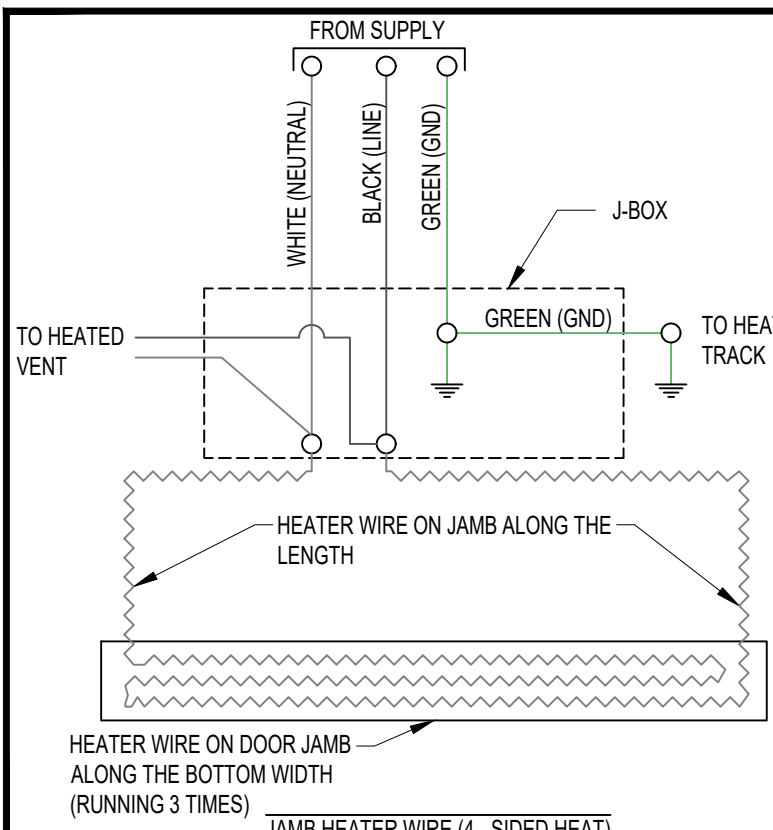
OTTOWA ELEMENTARY

BUCHANAN MI 49107

Create Dwg Date: 08.09.2022

Project # E035959-01

Sheet # QE-01



Department of Licensing and Regulatory Affairs

4th Floor Ottawa Building
611 W. Ottawa Street
Lansing, MI 48933

**Final Report - Approved with Conditions****Application Number: PR2022BFS-003637****Report Date: 09/07/2022****Description : PS - Existing freezer removal and replacement.****Address : 109 OTTAWA ST, BUCHANAN, MI, 49107****Record Type : Fire Safety Plan Review****Document Filename : 2022.08.10 State Submittal.pdf**Reviewer Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone
Jeff Quirante	quirantej@michigan.gov	517-241-0077

General Comments

Comment ID	Reviewer : Department	Review Comments
1	Jeff Quirante : Fire Safety	The plan review is complete for this submittal and your project has been assigned to a Bureau of Fire Services, Field Services Inspector. Shortly, this inspector will provide his contact information to this same email address. Please provide his contact information to the project manager for setting up an inspection. Note: All inspection scheduling should be made with the Field Services Inspector directly. Requests shall be made at least one week prior to the anticipated inspection date. Please provide the BFS record number, type of inspection requested and contact information for the responsible party when corresponding with the inspector. All applicable fees should be paid prior to scheduling a final inspection. Also, a region map for Field Services Inspectors is available on the Field Services web page for your convenience at: https://michigan.maps.arcgis.com/apps/webappviewer/index.html?id=6d3a26b4c12540e1ab4a44b12fcfd563
2	Jeff Quirante : Fire Safety	This review is concerned with new work only. No attempt was made to review the existing building for compliance with the 2016 School Fire Safety Rules.
3	Jeff Quirante : Fire Safety	Continued occupancy of this facility during construction shall be permitted only if all required means of egress and all required fire protection features (i.e., fire alarm and automatic sprinkler systems) are in place and continuously maintained. A minimum one hour fire rated separation shall be provided between buildings or portions of buildings which are occupied and those areas under construction or renovation. Refer to Section 4.6.10.1. A meeting with the field inspector may be required prior to construction to review proposed exiting.
4	Jeff Quirante : Fire Safety	In accordance with Rule 6, verify that you have submitted a site plan detailing water supply, hydrant locations, vehicle access route, and fire lanes to the local fire department.
5	Jeff Quirante : Fire Safety	This project has been reviewed using Chapter 43, Building Rehabilitation of NFPA 101, 2012 edition. As a modification, reconstruction, or an addition the applicable sections of Chapter 43 will require newly constructed elements, components and systems to comply as new construction. Refer to Chapters 14 and 43.
6	Jeff Quirante : Fire Safety	The submitted documents have been reviewed for compliance with the 2016 School Fire Safety Rules, which by adoption, with amendments; include chapter 14 and all other applicable chapters of NFPA 101, Life Safety Code, 2012 edition.

OTTAWA ELEMENTARY SCHOOL

OTTAWA ELEMENTARY SCHOOL FREEZER REPLACEMENT PROJECT

109 OTTAWA STREET, BUCHANAN, MI 49107



ELECTRICAL ROOM,
VERIFY ROOM LOCATION
WITH SCHOOL
REPRESENTATIVE

PROJECT
LOCATION
109 OTTAWA STREET
BUCHANAN, MI 49107

SITE PLAN
SCALE: NOT TO SCALE

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
2. ARCHITECTURAL WORK SHALL BE IN ACCORDANCE w/ THE MICHIGAN BUILDING CODE AND MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS.
3. ELECTRICAL WORK SHALL BE PERFORMED BY STATE OF MICHIGAN LICENSED ELECTRICIANS ACCORDING TO THE NATIONAL ELECTRIC CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING ELECTRICAL SYSTEM.
4. ALL PLUMBING WORK SHALL BE PERFORMED BY STATE OF MICHIGAN LICENSED PLUMBERS ACCORDING TO MICHIGAN PLUMBING CODE AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING PLUMBING SYSTEM.
5. HEATING AND AIR CONDITIONING SHALL BE ACCORDING TO THE MICHIGAN MECHANICAL CODE AND THE MICHIGAN ENERGY CODE.
6. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS w/ DISABILITIES ACT.
7. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
8. IF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
9. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE FINAL CLEAN-UP OF THE PROJECT.
10. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL NOT ORDER EQUIPMENT OR FABRICATE BUILDING COMPONENTS WITHOUT FIRST FIELD VERIFYING ALL DIMENSIONS.
11. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN THE EXISTING BUILT ENVIRONMENT AND THE PLANS.
12. BIDDERS SHALL BE RESPONSIBLE TO PROVIDE EVALUATION DOCUMENTATION FOR ALL ALTERNATES FOR ARCHITECT/OWNER REVIEW AND APPROVAL; ALL ALTERNATES SHALL BE APPROVED OR EQUAL.
13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS. SHOULD DIFFERENT CONDITIONS BE ENCOUNTERED, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH WORK.

CONTACT INFORMATION

OWNER:
BUCHANAN COMMUNITY SCHOOLS
401 W CHICAGO STREET
BUCHANAN, MI 49107
CONTACT: REBECCA KALTENBACH
PHONE: (269) 695-8415
E-MAIL: RKALTENBACH@BUCHANANSCHOOLS.COM

ARCHITECT:
WIGHTMAN
2303 PIPESTONE ROAD
BENTON HARBOR, MI 49022
CONTACT: CHRISTOPHER J. BRAYAK, AIA
OFFICE: (269) 487-9694
CELL: (269) 449-7735
E-MAIL: CBRAYAK@GOWIGHTMAN.COM

ELECTRICAL ENGINEER:
LAKE EFFECT ENGINEERING
1388 N. 600 E
MICHIGAN CITY, IN 46360
PHONE: (219) 617-1448
CONTACT: JANINE WEBER, P.E.
E-MAIL: LAKEEFFECT@CSINET.NET

INDEX OF DRAWINGS

ISSUE DATE	SHEET NO.	SHEET TITLE
08/12/2022	G001	TITLE SHEET
08/12/2022	A100	FLOOR PLANS & DETAILS
08/12/2022	E100	ELECTRICAL FLOOR PLAN & DETAILS
08/12/2022	Q-01	FREEZER MANUFACTURER DETAILS
08/12/2022	QE-01	FREEZER MANUFACTURER ELECTRICAL & DETAILS
08/12/2022		

BUILDING CODE INFORMATION:

USE CLASSIFICATION:	E - EDUCATION
CONSTRUCTION TYPE:	II

LIST OF ABBREVIATIONS

A.B.	-ANCHOR BOLT	L.P.	-LOW POINT
A.C.T.	-ACOUSTICAL COMPOSITE TILE	LAV.	-LAVATORY
A.F.F.	-ABOVE FINISHED FLOOR	LOC.	-LOCATE
A.F.G.	-ABOVE FINISHED GRADE	L.G.	-LONG
ALT.	-ALTERNATE	M-#	-MELAMINE SURFACE
ALUM.	-ALUMINUM	M.S.	-MASONRY
AUX.	-AUXILIARY	MAX.	-MAXIMUM
B.F.C.	-BELOW FINISH CEILING	MECH.	-MECHANICAL
B.O.	-BOTTOM OF	MDP.	-MODIFIED PROCTOR
BD.	-BOARD	MIN.	-MINIMUM
BL'KG.	-BLOCKING	MTD.	-MOUNTED
BM.	-BEAM	MTL.	-METAL
BTM.	-BOTTOM	MFR.	-MANUFACTURERS
CL.	-CENTER LINE	NA	-NOT APPLICABLE
C.	-CONDUIT	N.I.C.	-NOT IN CONTRACT
CPT.	-CARPET	O.C.	-ON CENTER
CLG.	-CEILING	O.D.	-OUTSIDE DIMENSION
C.O.	-CLEAN OUT	O.H.	-OVERHANG
COL.	-COLUMN	O/O	-OUT TO OUT DIMENSION
CONC.	-CONCRETE	OSB	-ORIENTED STRAND BOARD
CONN.	-CONNECTION	P.	-PLATE
CONT.	-CONTINUOUS	PL-#	-PLASTIC LAMINATE
CONTR.	-CONTRACTOR	PLYWD.	-PLYWOOD
CTR.	-CENTER	PRE-FAB.	-PREFABRICATED
C.W.	-COLD WATER	PRE-FIN.	-PREFINISHED
CPT.	-CARPET	PSF	-POUNDS PER SQ. FOOT
DIA.	-DIAMETER	PSI	-POUNDS PER SQ. INCH
DBL.	-DOUBLE	PT.	-PAINT
DN.	-DOWN	P.T.	-PRESSURE TREATED
DWG.	-DRAWING	P.R.	-PROXIMITY READER
E.F.	-EXHAUST FAN	PTN.	-PARTITION
EL.	-ELEVATION	PVC	-POLYVINYL CHLORIDE
ELEV.	-ELEVATION	QTY.	-QUANTITY
EQ.	-EQUAL	R.D.	-ROOF DRAIN
EQUIP.	-EQUIPMENT	RECEPT.	-RECEPTACLE
E.W.	-EACH WAY	REINF.	-REINFORCING
EXT.	-EXTERIOR	RM.	-ROOM
EXST.	-EXISTING	R.O.	-ROUGH OPENING
EX.	-EXHAUST	SQ.	-SQUARE
F.D.	-FLOOR DRAIN	SS	-STAINLESS STEEL
FIN.FL.	-FINISH FLOOR	STL.	-STEEL
F.O.M.	-FACE OF MASONRY	STRUC.	-STRUCTURAL
F.O.S.	-FACE OF STUD	S.V.	-SHEET VINYL
F.P.H.B.	-FREEZE PROOF HOSE BIBB	T.C.	-TOP OF CURVE
FRP	-FIBERGLASS REINFORCED PANEL	T&G	-TONGUE AND GROOVE
FT.	-FOOT	T.O.S.	-TOP OF SLAB
FTG.	-FOOTING	T.O.W.	-TOP OF WALL
FND.	-FOUNDATION	T.O.F.	-TOP OF FOOTING
GA.	-GAUGE	TYP.	-TYPICAL
GAL.	-GALLON	U.N.O.	-UNLESS NOTED OTHERWISE
GALV.	-GALVANIZED	T.O.L.	-TOILET
G.C.	-GENERAL CONTRACTOR	V.I.F.	-VERIFY IN FIELD
GPM.	-GALLONS PER MINUTE	V.B.	-VAPOR BARRIER
GRD.	-GROUND	VCT	-VINYL COMPOSITE TILE
GYP. BD.	-GYPSUM BOARD	VEN.	-VENEER
HT.	-HEIGHT	VERT.	-VERTICAL
H.M.	-HOLLOW METAL	VEST.	-VESTIBULE
HORIZ.	-HORIZONTAL	V.T.R.	-VENT THRU ROOF
H.W.	-HOT WATER	W.	-WIDE WASTE
H.P.	-HORSE POWER, HIGH POINT	w/	-WITH
INSUL.	-INSULATION	W.C.	-WATER CLOSET
J.C.	-JANITOR CLOSET	W.C.O.	-WALL CLEAN OUT
LAM.	-LAMINATE	WD.	-WOOD
LLH.	-LONG LEG HORIZONTAL	W.H.	-WATER PROOF
LLV.	-LONG LEG VERTICAL	W.W.F.	-WELDED WIRE FABRIC

W+

WIGHTMAN

BENTON HARBOR

269.927.0100

KALAMAZOO

269.327.3532

ALLEGAN

269.673.8465

ROYAL OAK

248.791.1371



PROJECT NAME:
**OTTAWA
ELEMENTARY
SCHOOL FREEZER
REPLACEMENT
PROJECT**
109 OTTAWA STREET
BUCHANAN, MI 49107

**BUCHANAN
COMMUNITY
SCHOOLS**
401 W CHICAGO STREET
BUCHANAN, MI 49107

00 08/12/2022
FOR STATE PLAN REVIEW

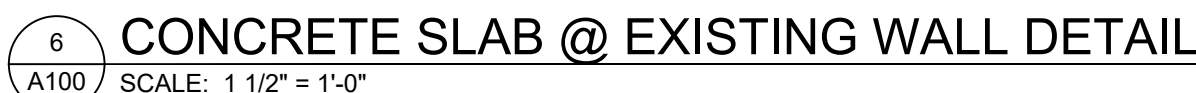
REVISIONS

DATE: 05/06/2022

SCALE:

TITLE SHEET

JOB No. 220180
G001

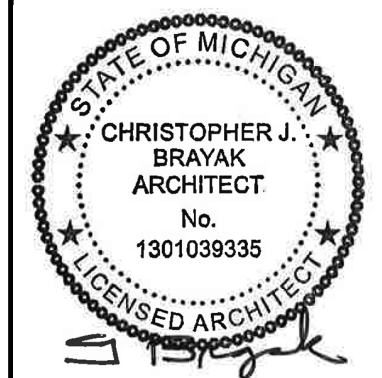


1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
4. REFER TO AND COORDINATE ALL WORK WITH EQUIPMENT DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, UNDERFLOOR DUCTS, FLOOR DEPRESSIONS, ETC. NOT SHOWN ON THE DRAWINGS. COORDINATE LOCATION, SIZE AND REINFORCEMENT OF ALL OPENINGS WITH RESPECTIVE TRADES BEFORE FABRICATION.

1. ALL SHEETING, SHORING AND BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE RESPONSIBILITY OF THE CONTRACTOR.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 301.
3. FOUNDATION DESIGN BASED ON 2000 PSF NET ALLOWABLE SOIL BEARING PRESSURE. CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY BEARING CONDITIONS PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL PROVIDE TESTING AND WRITTEN CONFIRMATION OF FILL MATERIAL DENSITY AND COMPACTION AND PROVIDE COPIES OF ALL REPORTS TO THE ENGINEER AND BUILDING OFFICER.
4. CONCRETE TESTING - CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY THE SLUMP, AIR ENTRAINMENT AND PROVIDE (3) CYLINDER SAMPLES FOR EACH DAY'S POUR, OR EACH 50 CY. OF CONCRETE WHICHEVER OCCURS MOST OFTEN. CONCRETE TESTING SHALL OCCUR FOR ALL CURB, FOOTING, FLOOR SLAB, AND EXTERIOR SLAB CONCRETE.
5. ALL CONCRETE SHALL BE SHALL BE 3,500 PSI LIMESTONE AGGREGATE, 4"-6" SLUMP AIR ENTRAINMENT, 4%-6% NO ADMIXTURES ARE TO BE INCLUDED WITHOUT PRIOR WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE CHLORIDE IONS THAN ARE CONTAINED IN MUNICIPAL DRINKING WATER ARE PROHIBITED. THE CHLORIDE ION LEVEL OF ADMIXTURES MUST BE BELOW 0.075 PERCENT OF WEIGHT.
6. ALL REINFORCING STEEL WORK MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS & REQUIREMENTS OF THE 'CONCRETE REINFORCING STEEL INSTITUTE', (CRSI).
7. MILD STEEL REINFORCEMENT:
DEFORMED BARS - ASTM A615, GRADE 60
WELDED WIRE FABRIC (W.W.F.) - ASTM A185
8. PROVIDE POSITIVE SUPPORT FOR REINFORCEMENT PRIOR TO PLACING CONCRETE TO ASSURE CORRECT POSITIONING AND TO MAINTAIN 3 INCH MINIMUM CLEAR CONCRETE COVER AT BOTTOM AND SIDES OF ALL FOOTINGS AND THICKENED SLABS.
9. PROVIDE BENT BAR DOWELS OR HOOKED VERTICAL BARS AT ALL FOOTINGS INTO FOUNDATION WALLS AS INDICATED ON THE DRAWINGS.
10. PROVIDE 24 INCH BY 24 INCH CORNER BARS AT ALL FOOTING AND FOUNDATION WALL INTERSECTIONS MATCHING THE SIZE AND SPACING OF CONTINUOUS HORIZONTAL REINFORCING.
11. WHEN REINFORCEMENT IN LAP SPLICED, PROVIDE CLASS B SPLICE TYPICAL, UNLESS NOTED OTHERWISE.
12. PROVIDE A 3/4" INCH CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE.
13. CONCRETE FINISHES:
EXTERIOR SLABS - LIGHT BROOM FINISH
INTERIOR SLABS - STEEL TROWEL FINISH
INTERIOR SLABS THAT DO NOT RECEIVE A FINISH FLOORING MATERIAL SHALL BE SEALED AFTER CURING.
14. SAW CUT SLABS 1/4 SLAB DEPTH, MINIMUM, IN GRIDS AS INDICATED ON THE FOUNDATION PLAN, APPROXIMATELY TWO-HUNDRED TWENTY-FIVE SQUARE FEET, (225 S.F.), AREA. REMOVE EVERY OTHER CROSS WIRE IN W.W.F. PERPENDICULAR TO LINE OF SAW CUT PRIOR TO POURING CONCRETE TO FACILITATE SHRINKAGE CRACKING AT SAW CUT. CONSULT STRUCTURAL ENGINEER FOR REQUESTED OR SUGGESTED DEVIATIONS IN SAW CUT LOCATIONS OR PROCEDURES.
15. FREEZER SPECIFICATION:

- INSIDE MEASUREMENTS: 12"-4" W x 7"-4" D x 6'-10" 7/8" H
- 4'-5" THICK INSULATED PANELS
- ROOF MEMBRANE (WHITE OR TAN)
- INSULATED FLOOR
- SMOOTH PANELS ON FLOOR
- 30" DOOR WITH DEADBOLT LOCKING HANDLE AND INSIDE SAFETY RELEASE
- HD CAM LIFT HINGES
- SPRING ACTUATED DOOR CLOSER
- DOUBLE FLOOR SWEEP GASKET
- MAGNETIC GASKET
- PERIMETER DOOR HEATER
- STRIP CURTAINS
- NO-SKID FLOOR STRIPS ON FLOOR AND RAMP
- TEMPS DOWN TO -10°
- EXTERIOR DIGITAL TEMP GAUGE
- LED LIGHT WITH SWITCH
- SHELVED BOTH SIDES, DUNNAGE RACK AT REAR
- AIR-COOLED CONDENSER MOUNTED AT REAR OF UNIT (REMOTE ON ROOF). MUST HAVE REMOVABLE COVER FOR COMPONENTS
- 208/230 1 PHASE
- TIME CLOCK CONTROLLED DEFROST
- HIGH TEMP ALARM WITH WARNING LIGHT
- (1) YEAR REFRIGERATION WARRANTY
- (1) YEAR COMPRESSOR WARRANTY
- (3) DAY LABOR / SERVICE WARRANTY
- (1) YEAR AND (3) MONTH WALK-IN PANEL WARRANTY
- (1) YEAR REPLACEMENT PARTS WARRANTY

FREEZER SHALL BE: THERMALRITE WALK-IN FREEZER, 13' x 8', 7'-8" HIGH EXTERIOR FREEZER OR APPROVED EQUAL.



PROJECT NAME:

**OTTAWA
ELEMENTARY
SCHOOL FREEZER
REPLACEMENT
PROJECT**

109 OTTAWA STREET
BUCHANAN, MI 49107

**BUCHANAN
COMMUNITY
SCHOOLS**

401 W CHICAGO STREET
BUCHANAN, MI 49107

00 08/12/2022
FOR STATE PLAN REVIEW

REVISIONS

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FLOOR PLANS & DETAILS

JOB No. 220180

A100



WIGHTMAN

BENTON HARBOR

269.927.0100

KALAMAZOO

269.327.3532

ALLEGAN

269.673.8465

ROYAL OAK

248.791.1371

www.gowightman.com



PROJECT NAME:

**OTTAWA
ELEMENTARY
SCHOOL FREEZER
REPLACEMENT
PROJECT**

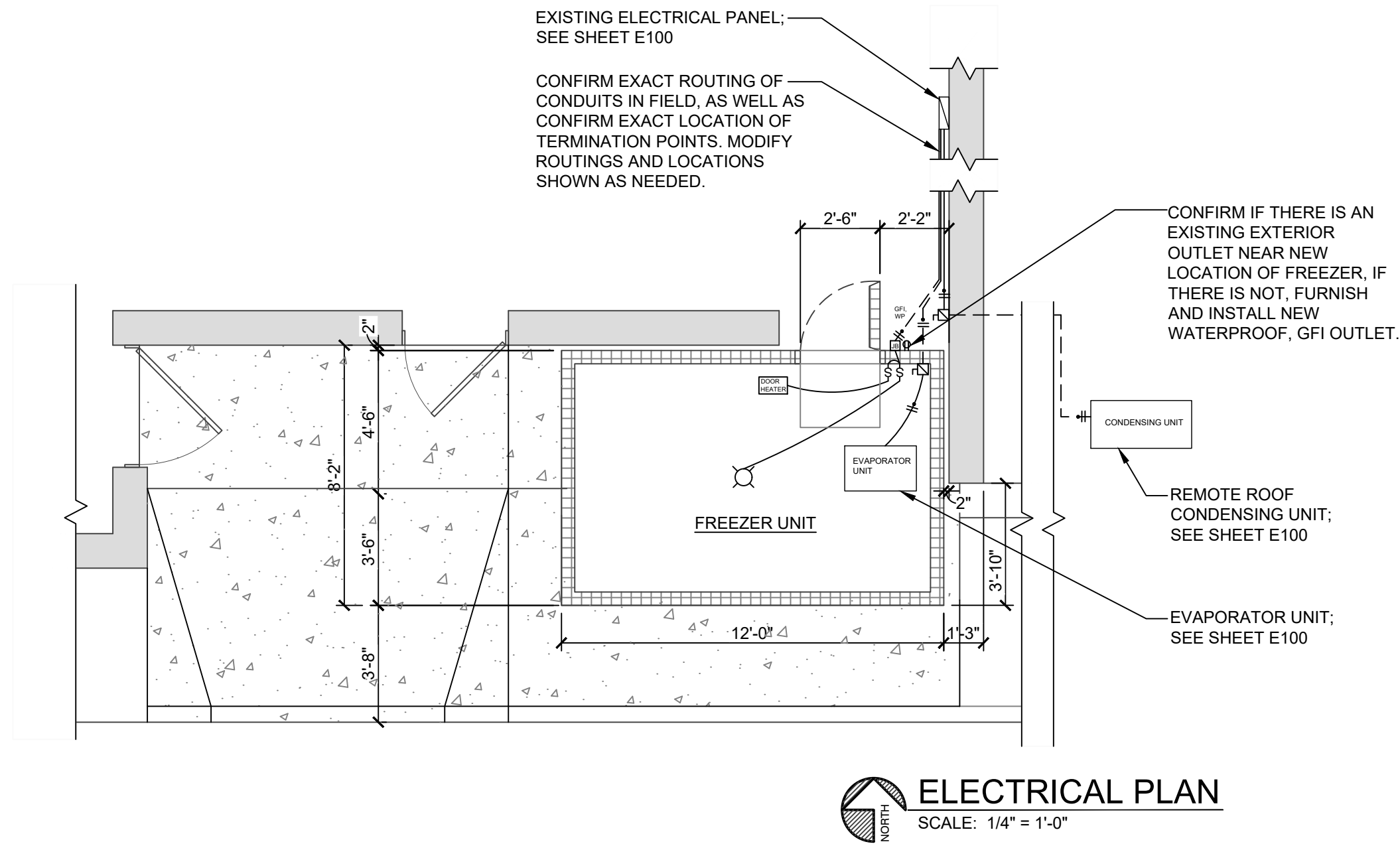
109 OTTAWA STREET
BUCHANAN, MI 49107

**BUCHANAN
COMMUNITY
SCHOOLS**

401 W CHICAGO STREET
BUCHANAN, MI 49107

GENERAL ELECTRICAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES AND STANDARDS.
- ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS/CONDUCTORS RUN CONCEALED IN FINISHED AREAS.
- INSTALL POWER AND CONTROL WIRING AND REQUIRED CONTROL COMPONENTS FOR AIR CONDITIONING SYSTEMS AS SHOWN/NOTED ON THESE DRAWINGS AND PER OTHER APPLICABLE DRAWINGS/INSTRUCTIONS.
- WIRE SIZE SHALL BE #12 MIN., UNLESS OTHERWISE NOTED. WIRE SIZES SMALLER THAN #6 AWG SHALL BE THHN/THWN. #6 AWG WIRE & LARGER SHALL BE THW, UNLESS NOTED OTHERWISE.
- WIRE (CONDUCTOR) COLORS SHALL BE AS PER APPLICABLE CODES.
- ALL CONDUCTORS SHALL BE COPPER.
- LOW VOLTAGE CONTROL & COMM. CABLES, THESE SHALL BE PLENUM RATED.
- ALL MATERIALS SHALL BE UL APPROVED.
- ALL EMPTY CONDUITS TO BE PROVIDED WITH NYLON PULL CHORD.
- NEW TYPEWRITTEN PANEL DIRECTORY SHALL BE FURNISHED AFTER JOB IS COMPLETED REFLECTING ALL AS BUILT CONDITIONS.
- ALL BRANCH CIRCUITS SHALL BE PROPERLY BALANCED.
- FUSES SHALL BE DUAL ELEMENT, TIME DELAY TYPE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO COORDINATE ROUGHING-IN REQUIREMENTS FOR ALL EQUIPMENT W/ RESPECTIVE SUPPLIER PRIOR TO INSTALLING CONDUCTORS.
- THE ELECTRICAL DEVICES SHOWN ARE FOR BIDDING QUANTITY. ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRICAL DEVICE LOCATIONS WITH THE OWNER BEFORE ROUGH IN AND ALTER LOCATIONS AS REQUIRED. THE FINAL LOCATIONS MUST MEET CODE REQUIREMENTS.



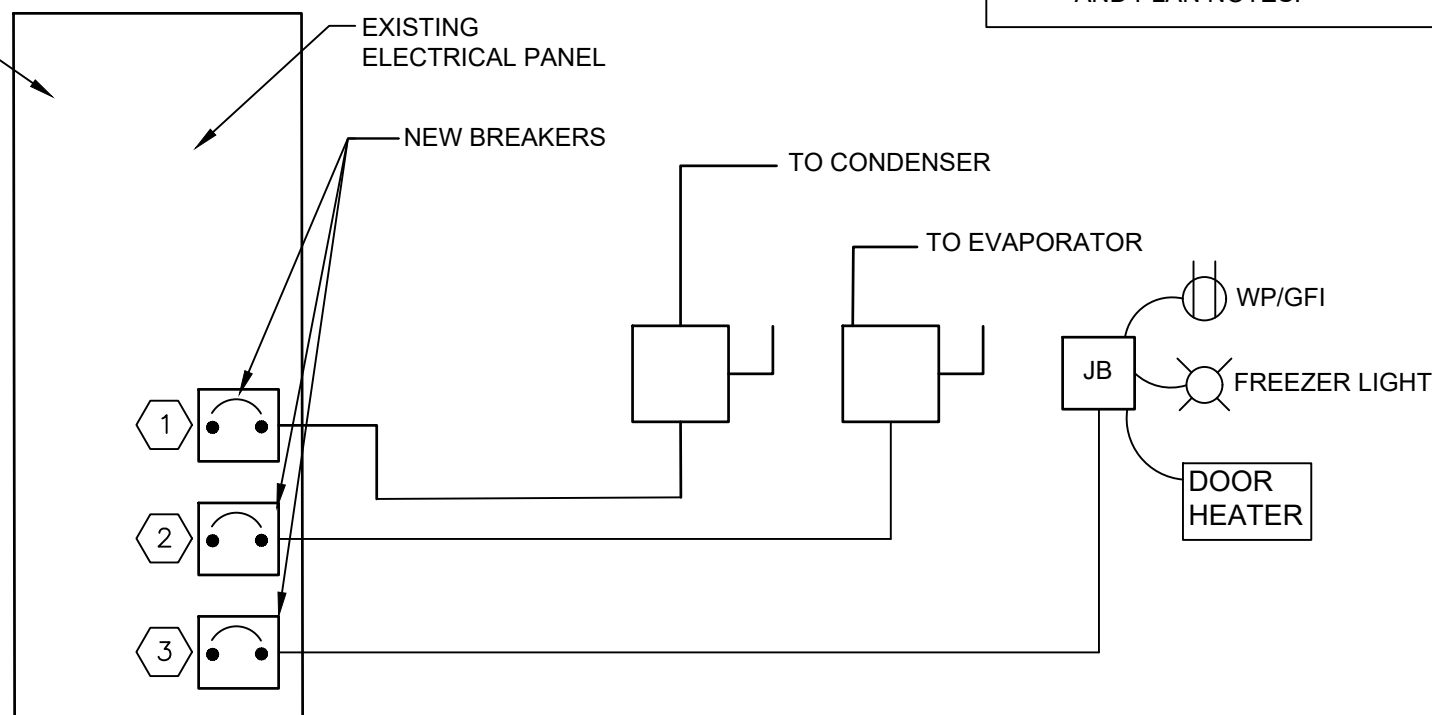
GENERAL NOTES:

- CONDUIT INSIDE BUILDING TO BE EMT. WHEN OUTSIDE, RUN CONDUIT 36" BELOW GRADE TO FREEZER, UTILIZING PVC40 BELOW GROUND AND TRANSITIONING TO GRC WHEN ABOVE GROUND.
- IT IS PERMISSIBLE TO RUN ALL WIRING IN SAME CONDUIT, UPSIZING CONDUIT TO MEET ALL NEC REQUIREMENTS.
- WIRING TO BE THHN/THWN, 75 DEGREE RATED.

PLAN NOTES:

- FURNISH AND INSTALL A 35A, 2 POLE BREAKER IN EXISTING 225A, 208Y120V PANEL IN SPARE SPACE. RUN 3 #8, IN 1" CONDUIT FROM PANEL TO NEMA 3R EXTERIOR RATED 35A, 208V, 2 POLE DISCONNECT, AND ON TO CONDENSER. DISCONNECT TO BE INSTALLED IN SIGHT OF CONDENSER.
- FURNISH AND INSTALL A 20A, 2 POLE BREAKER IN EXISTING, 208Y120V PANEL IN SPARE SPACE. RUN 3 #12, IN 1" CONDUIT FROM PANEL TO NEMA 3R EXTERIOR RATED 20A, 208V, 2 POLE DISCONNECT, AND ON TO EVAPORATOR. DISCONNECT TO BE INSTALLED IN SIGHT OF EVAPORATOR.
- FURNISH AND INSTALL A 120V, 20A BREAKER IN EXISTING PANEL IN SPARE SPACE. RUN 3 #12 IN 1" CONDUIT FROM PANEL TO EXTERIOR OUTLET, FREEZER LIGHTS AND DOOR HEATER.
- THE ELECTRICAL CONTRACTOR SHALL IDENTIFY THE EXISTING WALK IN FREEZER CIRCUITS AND CIRCUIT BOX FEEDING THEM. REUSE THE EXISTING CIRCUITS AND CIRCUIT BREAKERS IF ACCEPTABLE. REPLACE CIRCUITS AND BREAKERS IF THE EXISTING ARE NOT AS CALLED OUT IN THE ELECTRICAL RISER DIAGRAM AND PLAN NOTES.

RE-USE SPARE SPACES
IN EXISTING KITCHEN
SUBPANEL FROM
BREAKERS FEEDING
PREVIOUS FREEZER.
REPLACE BREAKERS
WITH AMPERAGE SIZES
AS INDICATED. IF NOT
ENOUGH SPARE SPACE,
UTILIZE THE OTHER
EXISTING PANEL IN
SAME ROOM. IF NOT
ENOUGH SPARES
AVAILABLE, PROVIDE AN
ADDITIONAL 60A
SUBPANEL, FED FROM
THE SMALL KITCHEN
SUBPANEL, WITH THE
UNDERSTANDING THAT
THE OLD KITCHEN
CIRCUITS ARE NO
LONGER BEING USED,
AND THEREFORE NOT
ADDING ADDITIONAL
LOAD.



1
E100
ELECTRIC RISER PLAN
SCALE: 1/8" = 1'-0"

00 08/12/2022
FOR STATE PLAN REVIEW

REVISIONS

00 08/12/2022
FOR STATE PLAN REVIEW

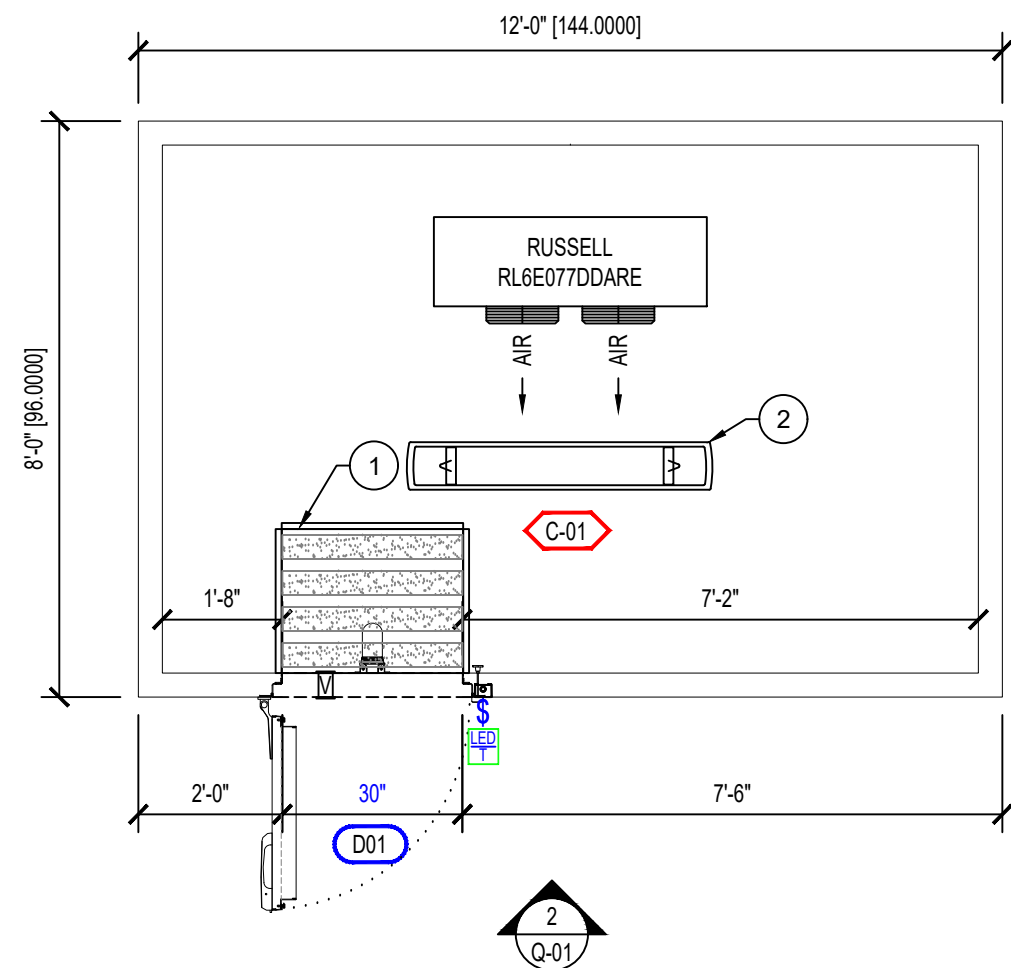
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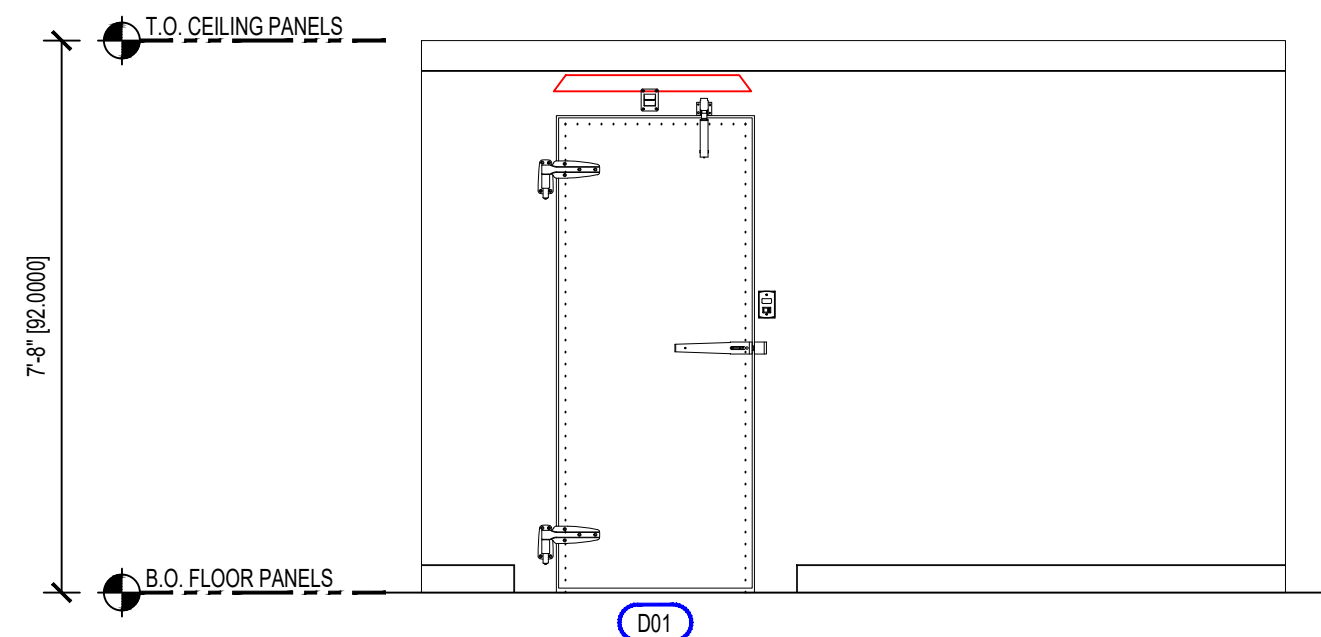
**ELECTRICAL FLOOR
PLAN & DETAILS**

JOB No. 220180

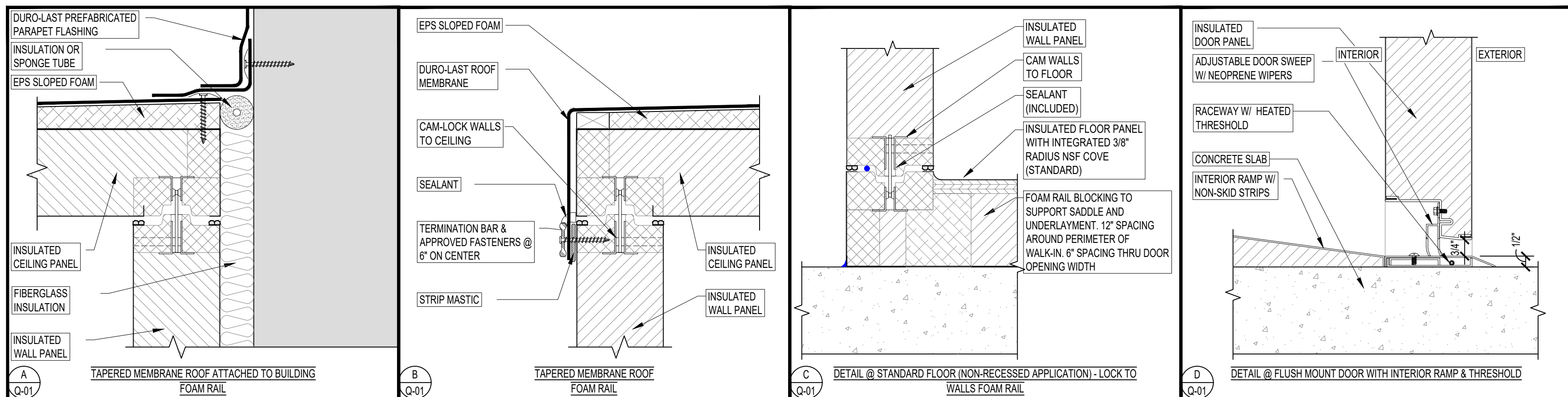
E100



1 WALL PANEL PLAN
Q-01 1/8" = 1'-0" APPROVAL INITIALS



2 ELEVATION
Q-01 1/8" = 1'-0" APPROVAL INITIALS



FOR APPROVAL ONLY

GENERAL NOTES	APPROVAL INITIALS
A. CAULK: BUTYL (24 TUBES) B. CAULK: SILICONE GREY (4 TUBES) C. ROOF CAP: DURO-LAST TAPERED MEMBRANE - 40 MIL - DIM A = 14' 0" DIM B = 10' 0" LAP LENGTH = 14' 0". D. EPS FOAM (SLOPED); DIM A=14' 0" DIM B=10' 0" SLOPE DIRECTION=8 0". E. SEPARATION SLIP SHEET: DURO-LAST DURO-BLU (1 ROLL) F. SILICONE FOR MEMBRANE (4 TUBES)	

KEY NOTES	APPROVAL INITIALS
1. RAMP: 30"Wx24"D - CENTER TO OPENING (INT) 2. LIGHT FIXTURE: (1) EVERIDGE - 45W LED - 48" - TYPICAL	

COMPARTMENT SCHEDULE	APPROVAL INITIALS
C-01 HEIGHT: 92" -10°F FREEZER TO CEILING: LOCK DETAIL: B/Q-01 LOCK TO FLOOR (NSF) DETAIL: C/Q-01 WALL PANEL RAIL: FOAM THICK: 4" DETAIL: C/Q-01 FINISHES: INT/EXT - ACRYLUME/EMBOSSED - 26 GA CEILING PANEL RAIL: FOAM THICK: 5" FINISHES: INT/EXT - ACRYLUME/EMBOSSED - 26 GA FLOOR PANEL RAIL: FOAM THICK: 4 1/8" RECS: X" FINISHES: INTERIOR - ALUMINUM/SMOOTH - .050 EXTERIOR - ACRYLUME/EMBOSSED - 26 GA	

DOOR SCHEDULE - SWING	APPROVAL INITIALS
D01 36"W x 78"H FREEZER SLIP MOUNT ALLOWANCE DETAIL: D/Q-01 FLUSH MOUNT CLOSER: KASON 1094 VENT: KASON 1825 115V HEATED VIEWPORT: HINGE: KASON 1248 QTY: 2 LATCH: KASON 27C RELEASE: SWITCH / ALARM: 1967-2 DIGITAL THERMOMETER W/ SWITCH LIGHT: KASON 1806 - LED (MOUNTED TO JAMB) MAGNETIC GASKET RAIN HOOD (HINGED) DOORJAMB HEAT (120V) - "X" = YES JAMB: X B.O. DOOR THRESHOLD: X	

REFRIGERATION	APPROVAL INITIALS
CONDENSING UNIT FOR HOLDING FREEZER • MANUFACTURER: HTPG - RUSSELL DCE • DESCRIPTION: HEAT-GEN MINI-COM CONDENSING UNIT LOW TEMPERATURE SCROLL COMPRESSOR: 208-230V/180 FLOODED NO DEFROST PROVISIONS • MODEL: RPO20XL4SDANT • HORSEPOWER: 2.3333HP • EXTRAS: • ELECTRICAL: 208-230V/180, RLA 12.4359, MOPD 25, MCA 17.5 • CONDITIONS: BTUH 7330 ROOM TEMP -10°F AMBIENT 95°F • WARRANTY: COMPRESSOR/MOTOR WARRANTY EXTENDED TO 5-YEARS, PARTS ONLY, NO LABOR 1 X EVAPORATOR UNIT COOLER • MANUFACTURER: HTPG - RUSSELL DCE • DESCRIPTION: ELECTRIC DEFROST LOW-PROFILE WITH DUAL SPEED EC MOTOR COIL • MODEL: RL6E07DDARE • EXTRAS: • ELECTRICAL: 208-230V/180, FAN AMPS 1, DEFROST AMPS 9.8	



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NSF
COMPLIANT

UL
EVALUATED

COMPLIANCE
WALK-INS MEET OR EXCEED ALL PRESCRIPTIVE STANDARDS OF THE ENERGY INDEPENDENCE AND SECURITY ACT (EISA) OF 2007

REFERENCE SYMBOL LEGEND

ELEVATION REF X DWG NUMBER	KEY NOTE X DOOR TAG
SECTION REF X DWG NUMBER	COMPARMENT TAG X JAMB GUARDS (Opening Free)
DETAIL REF X DWG NUMBER	DAIRY LIP X (Opening Free)
DATUM POINT X	T-MOLDING X (Opening Free)
	REVISION NUMBER X

SITE NOTATION

- WHEN APPLICABLE - DOES BUILDING FLOOR HAVE TILE AND GROUT INSTALLED BEFORE OR AFTER WALK-IN INSTALLATION IF SO PROVIDE TILE THICKNESS
- ALLOW 2" FOR COOLER AND FREEZER MINIMUM AIR SPACE ALL AROUND WALK-IN FOR AMPLE AIR CIRCULATION

WARNINGS:

- DO NOT DISCONNECT DOOR HEATERS PRIOR TO STARTUP OF REFRIGERATION
- TO AVOID DISCOLORATION OF METAL ON PANELS, PROPERLY VENTILATE EACH ROOM IF THE OR MASONRY WORK IS TO BE DONE

CONSTRUCTION (STANDARD)

- CORNERS AND T-WALLS TO BE ONE PIECE CONSTRUCTION W/ 3/8" RADIUS AT ALL INSIDE VERTICAL CORNERS, JOINTS SEALED W/ PVC GASKET AT INT. & EXT. PERIMETER OF PANELS, CONNECTED W/ CAM-LOCK FASTENERS
- ALL CEILING AND WALL PANELS ARE NOT DESIGNED TO CARRY ADDITIONAL CONDENSING UNIT WEIGHT UNLESS SPECIFICALLY NOTED OTHERWISE AND DESIGNATED IN PLAN

ELECTRICAL NOTICE

- ALL ELECTRICAL COMPONENTS WITHIN THE WALK-INS, IE LIGHT SWITCHES, PRESSURE RELIEF PORTS, JAMB HEATERS SHALL BE FACTORY PRE-WIRED, FOR HOOK UP BY ELECTRICAL CONTRACTOR
- ALL LIGHT FIXTURES SUPPLIED ARE SHIPPED LOOSE FOR INSTALLATIONS BY ELECTRICAL CONTRACTOR
- ThermaRite SHALL ACCEPT NO RESPONSIBILITY FOR ANY BACK CHARGES ASSOCIATED WITH INSTALLATION OF LIGHT FIXTURES OR FIELD WIRING CONNECTIONS.

CONCRETE SLAB / PAD NOTICE

- SLAB / PAD MUST BE LEVEL WITHIN 1/4" OVER 10'-0" IN ANY DIRECTION
- SLAB / PAD MUST BE FLAT, SMOOTH, AND UNIFORM WITH MAXIMUM 1/4" TOTAL DEVIATION OVER 10'-0" STRAIGHTEDGE IN ANY DIRECTION

I HEREBY ACKNOWLEDGE THAT I HAVE BEEN INFORMED OF THE ABOVE SLAB / PAD REQUIREMENTS AND FAILURE TO COMPLY WILL RESULT IN REFUSAL TO INSTALL AND/OR WILL VOID ANY WARRANTY COVERAGE FOR ISSUES ON THIS WALK-IN RESULTING FROM SUCH INSTALLATION.

X

00 08/12/2022
FOR STATE PLAN REVIEW

1			
REV	DESCRIPTION	DATE	BY

Approval Status Block

Drawing Reviewed By:

Review Date:

Please Check Appropriate Field

Approved as Drawn: ☐

Revise and Resubmit: ☐

Customer Service Rep.

CHRIS EVERS

Submittal Drafter Shop Drafter

BS

Save Dwg Date: 8.9.2022

Customer/Dealer

SEFA - GREAT LAKES HOTEL SUPPLY (MI)
24101 W 9 MILE RD
SOUTHFIELD, MI 48033-3972

Site Information

OTTAWA ELEMENTARY

BUCHANAN MI 49107

Create Dwg Date: 08.09.2022

Project # E035959-01

Sheet # Q-01

FOR APPROVAL ONLY



15600 37TH AVE N. SUITE 100
PLYMOUTH, MN 55446
PHONE: (763) 541-1410 FAX: (763) 541-1563
https://www.everidge.com



COMPLIANCE

WALK-INS MEET OR EXCEED ALL PRESCRIPTIVE STANDARDS OF THE ENERGY INDEPENDENCE AND SECURITY ACT (EISA) OF 2007

SITE NOTATION

- WHEN APPLICABLE - DOES BUILDING FLOOR HAVE TILE AND GROUT INSTALLED BEFORE OR AFTER WALK-IN INSTALLATION IF SO PROVIDE TILE THICKNESS
- ALLOW 2" FOR COOLER AND FREEZER MINIMUM AIR SPACE ALL AROUND WALK-IN FOR AMPLE AIR CIRCULATION

WARNINGS:

- TO AVOID DOOR GASKET DAMAGE, DO NOT ENERGIZE FREEZER DOOR HEATERS PRIOR TO STARTUP OF REFRIGERATION
- AVOID DISCOLORATION OF METAL ON PANELS. PROPERLY VENTILATE EACH ROOM IF TILE OR MASONRY WORK IS TO BE DONE

CONSTRUCTION (STANDARD)

- CORNERS AND T-WALLS TO BE ONE PIECE CONSTRUCTION W/ 3/8" RADIUS AT ALL INSIDE VERTICAL CORNERS, JOINTS SEALED W/ PVC GASKET AT INT. & EXT. PERIMETER OF PANELS, CONNECTED W/ CAM-LOCK FASTENERS.
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X



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REV	DESCRIPTION	DATE	BY
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Approval Status Block

Drawing Reviewed By:

Review Date:

Please Check Appropriate Field

Approved as Drawn:

Revise and Resubmit:

Customer Service Rep.

CHRIS EVERS

Submittal Drafter Shop Drafter

BS

Save Dwg Date: 8.9.2022

Customer/Dealer

SEFA - GREAT LAKES HOTEL SUPPLY (MI)
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Site Information

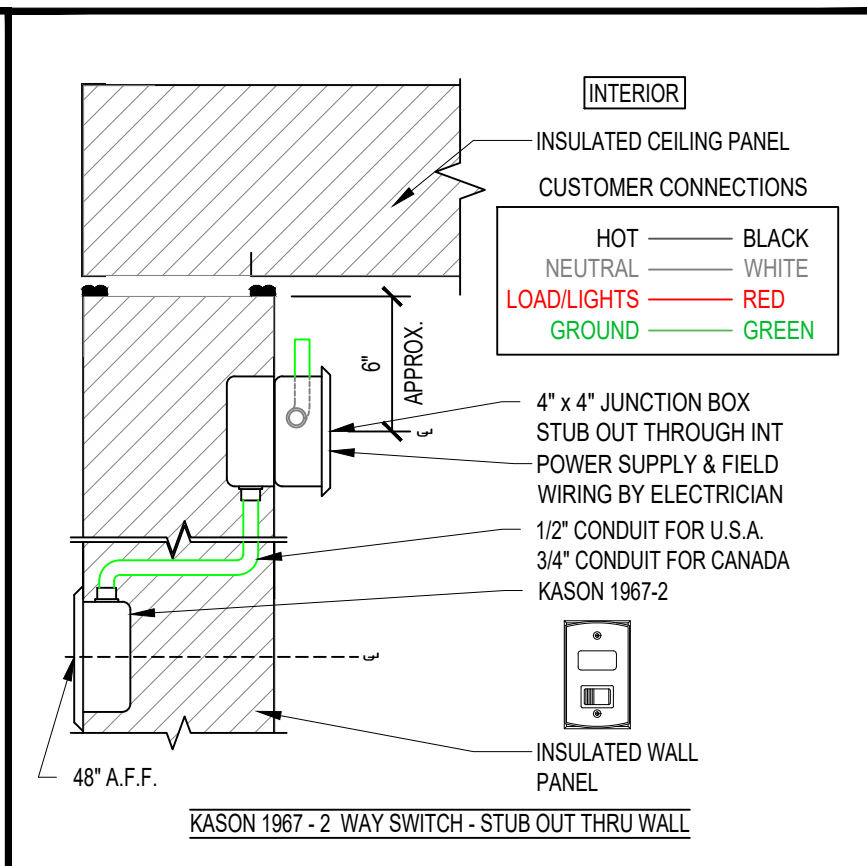
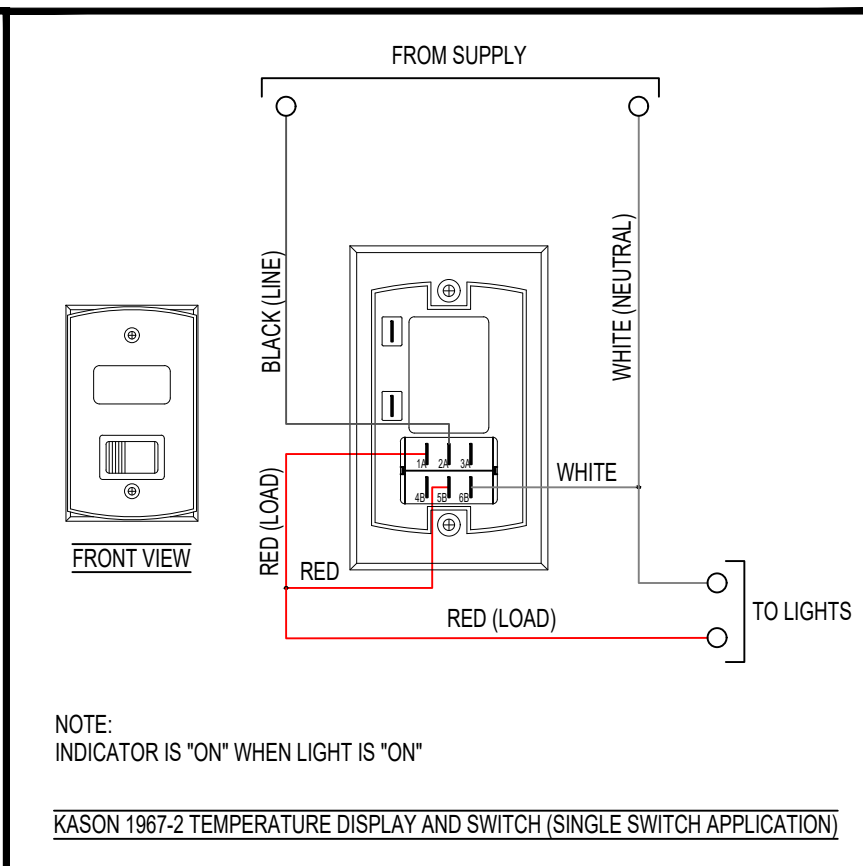
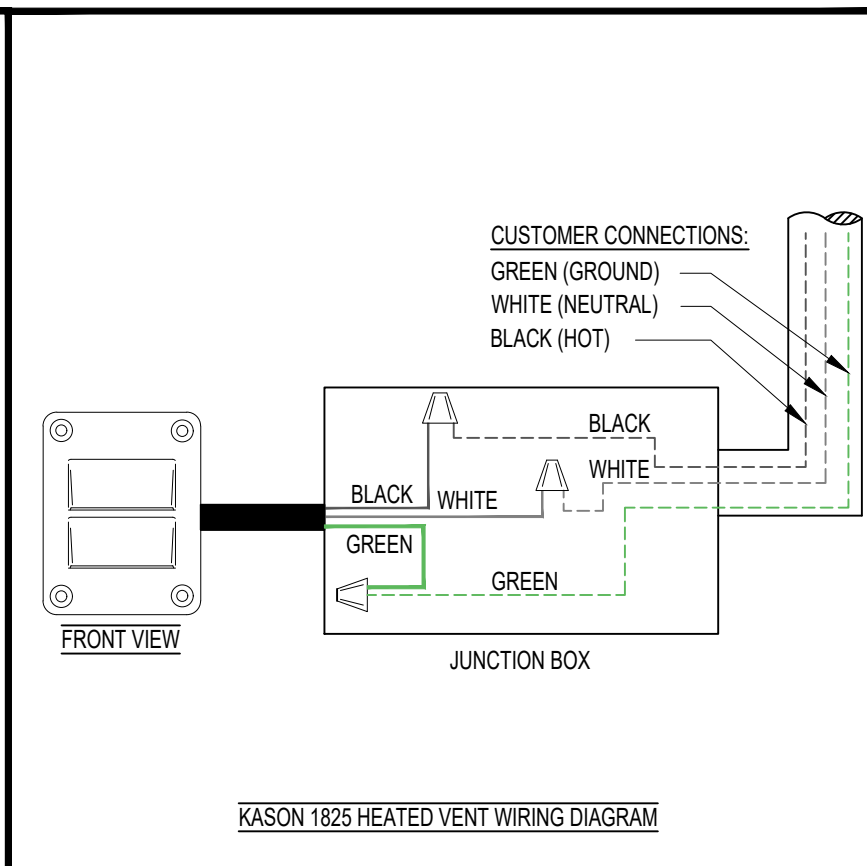
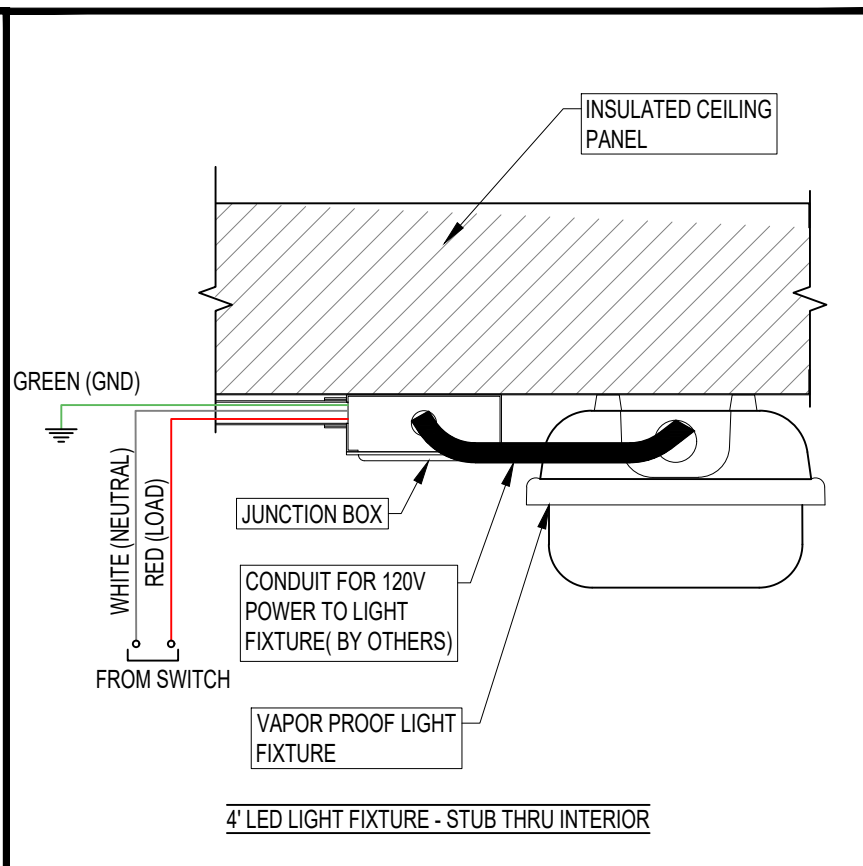
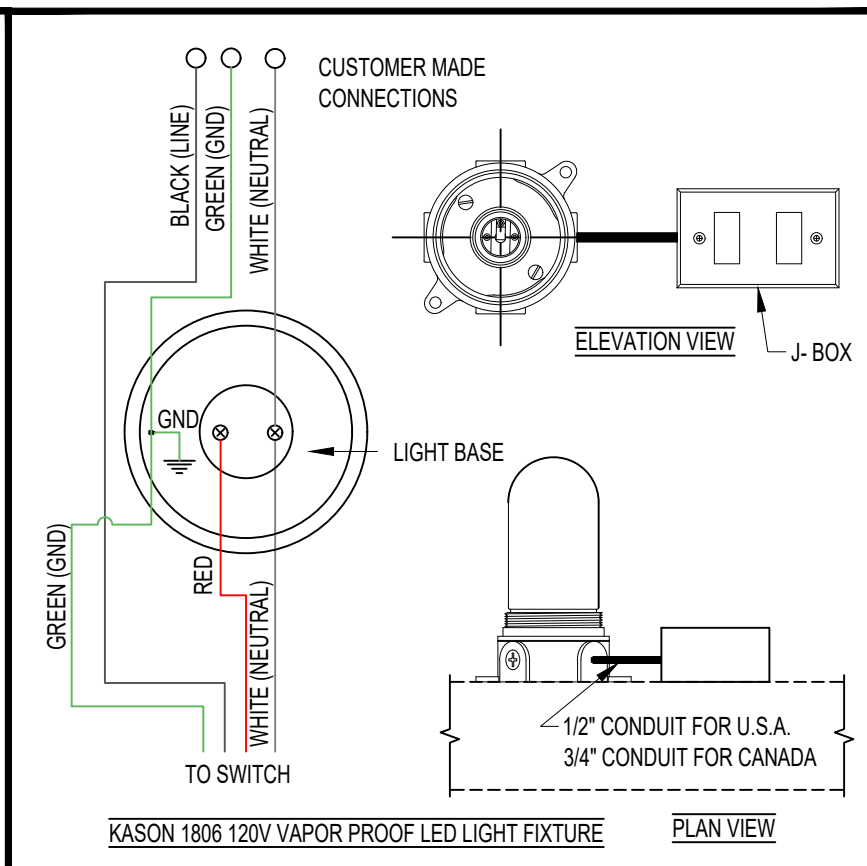
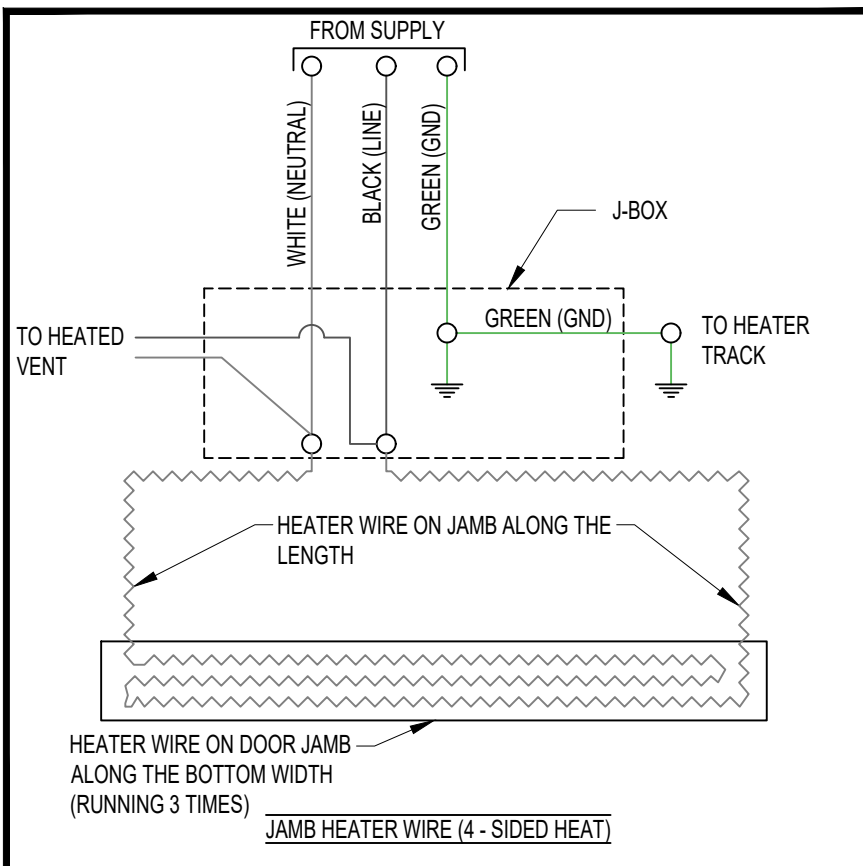
OTTAWA ELEMENTARY

BUCHANAN MI 49107

Create Dwg Date: 08.09.2022

Project # E035959-01

Sheet # QE-01



**BUCHANAN COMMUNITY
SCHOOLS**

**401 West Chicago Street
Buchanan, MI 49107**

**AHERA 6-Month
Periodic Surveillance
of
Asbestos Containing Building Materials**

January 2023

Project #23-006



215 Colfax Avenue
Benton Harbor, MI 49022
Phone: (269) 927-2434
www.villaenv.com



215 Colfax Avenue, Benton Harbor, MI 49022 ♦PH: (269) 927-2434 ♦ rvilla@villaenv.com

March 14, 2023

Mark Kurland, Assistant Superintendent
Buchanan Community Schools
401 West Chicago Street
Buchanan, MI 49107

RE: AHERA Six-Month Periodic Surveillance for January 2023- Project #23-006

Dear Mr. Kurland

The attached six-month asbestos periodic surveillance forms are provided for your records, as required by the AHERA (Asbestos Hazard Emergency Response Act) regulations. The following is a summary of comments and reminders for your review:

1. Chair mats or chair leg tips should be installed in all rooms containing 9"x9" floor tiles at Buchanan High School.
2. Monitor and wax the areas with chipped and missing floor tile at Ottawa Elementary, until floor tiles can be replaced.
3. Repair or replace all drill holes and damage to fire doors at all the Buchanan Community Schools.
4. Villa Environmental can assist the district with any required training or arrange for a qualified contractor if this is the selected option to complete the identified repairs.
5. For your convenience, we bold typed all the areas of concern and notes for the future on the attached forms.
6. The overall condition of asbestos materials in the district is very good.

If you have any questions regarding any part of this surveillance report, please email or contact me or Edward McIntyre at (269) 927-2434 at your convenience.

Yours truly,

A handwritten signature in black ink that reads 'Richard P. Villa'.

Richard P. Villa, President
rvilla@villaenv.com

Enc.

LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#01-MOCCASIN ELEMENTARY - 410 MOCCASIN STREET

PERIODIC SURVEILLANCE**1. Name of Person Performing Surveillance:**Last
MCINTYREFirst
EDWARDM.I.
C.**2. Date of Surveillance:**

FEBURARY 17, 2023

3. Description of Changes in The Condition of The Material:

12 - (810 SF) FLOOR TILE	
ROOM 209	CARPETED (ACCORDING TO CUSTODIAN AND DISCUSSED AT A PRIOR INSPECTION, THE TILE WAS REMOVED BEFORE THE CARPETING WAS INSTALLED). CONTINUE O/M
STORAGE CLOSET ACROSS FROM 107	OVERALL GOOD CONDITION, CONTINUE O/M
LANDING AREA TO 2 ND FLOOR (NORTH END-GREEN TILE)	GOOD CONDITION. CONTINUE O/M
16 - (3,000 SF) DRYWALL (1948/1958 SECTIONS)	
STAIRWAY 2ND FLOOR ACROSS FROM BOY'S RESTROOM (ASSUMED ACM)	OVERALL GOOD CONDITION, CONTINUE O/M
18 - (950 SF) METAL COVERED WINDOWS	
EXTERIOR PANELS (ASSUMED ACM)	OVERALL GOOD CONDITION, CONTINUE O/M.
19 - FIRE DOORS	
CUSTODIAL CLOSET (ACROSS FROM 107), CUSTODIAL CLOSET (2 ND FLOOR NEXT TO BOYS BATHROOM) ROOM 106	DAMAGED AT THE BOTTOM OF BOTH CLOSET DOORS. ROOM 106 HAS DRILL HOLES, REPAIR OR REPLACE FIRE DOOR. MONITOR. CONTINUE O/M
OUTSIDE AIR INTAKE ROOM (BOILER), STORAGE 2	GOOD CONDITION. CONTINUE O/M
BOILER ROOM (2 DOORS)	OVERALL GOOD CONDITION, CONTINUE O/M
ROOM 201 AND 202	MONITOR AND REPATCH FIRE DOORS, CONTINUE O/M

ENTRY TO GYM AT HALLWAY, TWO DOORS	GYM DOUBLE DOORS CONTAIN DRILL HOLES (REPAIR OR REPLACE), CONTINUE O/M
BASEMENT STORAGE AND PUMP ROOM, ENTRY TO LOWER LEVEL	OVERALL GOOD CONDITION, CONTINUE O/M

Auth: Pa 368 of 1978

Completion of This Form (Or Equivalent) Is Required by AHERA

Note: The older 12" x 12" green vinyl tile in the kitchen is suspect. The 9" x 9" vinyl floor tile remains in the custodial closet across from room 107 and at stair landings to the 2nd floor.

LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#02-OTTAWA ELEMENTARY - 109 OTTAWA STREET

PERIODIC SURVEILLANCE**1. Name of Person Performing Surveillance:**

Last	First	MI.
MCINTYRE	EDWARD	C.

2. Date of Surveillance:

FEBRUARY 17, 2023

3. Description of Changes in The Condition of The Material:

<u>HA#-DESCRIPTION/LOCATION</u>	<u>OBSERVATIONS/CHANGES</u>
02 - (18,060 SF) 9" X 9" FLOOR TILE AND BLACK MASTIC (1966 SECTION)	
205, OFFICE AREA (SECRETARY, PRINCIPAL'S OFFICE, CONFERENCE ROOM)	CARPETED (POSSIBLY OVER FLOOR TILE). CONTINUE O/M
ROOMS 210, 104, 106, GYM, NORTH CORRIDOR, MAIN HALL, SOUTH CORRIDOR, TEACHERS LOUNGE (WAS ROOM 103)	GOOD CONDITION. REPLACE TILES AND WAX FLOOR AS NEEDED, CONTINUE O/M.
ROOMS 200 & 203, OFFICE AREA (NURSE, WORK ROOM) ELECTRICAL ROOM ACROSS FROM 100, SERVER ROOM, ELECTRICAL ROOM BY 105	CHIPPING AND MISSING TILES IN THE ELECTRICAL ROOM ACROSS FROM 100. REPAIR AND REPLACE TILE AND START WAXING THIS AND OTHER STORAGE ROOMS. CONTINUE O/M.
05 - (120 SF) FIRE DOORS	
OFFICE (SECRETARY, WORK ROOM), ELECTRICAL ROOM BY 100 (CUSTODIAL OFFICE), STORAGE 1, ELECTRICAL ROOM ACROSS FROM 105, A/V ROOM (2 DOORS), JANITOR CLOSET 1 (BY GIRLS BATHROOM 2), JANITOR CLOSET 3 (BY BOYS BATHROOM 2)	ELECTRICAL ROOM ACROSS FROM 105 HAS MINOR IMPACT DAMAGE, ALONG WITH FIRE DOORS ON WEST SIDE OF GYM CONTAIN DRILL HOLES (REPAIR AND MONITOR CLOSELY). ALL OTHER FIRE DOORS ARE IN GOOD CONDITION. CONTINUE O/M
JANITOR CLOSET BY 102, STORAGE 1	MINOR CRACKING OBSERVED, STORAGE 1 HAS CORKBOARD DRILLED INTO FIRE DOOR. MONITOR & CONTINUE O/M
08 - (590 LF) TAN INTERIOR WINDOW CAULK	
NORTH SIDE (8 WINDOWS), EAST SIDE (13 WINDOWS), SOUTH SIDE (6 WINDOWS), INTERIOR COURTYARD (4 WINDOWS)	CONTINUE O/M. (CAULK REMOVED FROM THE 4 WEST WINDOWS DURING 2014 RENOVATIONS)

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Refer to floor plan sketch for fire door, floor tiles areas and rooms with concrete under carpet.

LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#02-OTTAWA ELEMENTARY - 109 OTTAWA STREET (CONTINUED)

PERIODIC SURVEILLANCE**1. Name of Person Performing Surveillance:****Last**
MCINTYRE**First**
EDWARD**MI.**
C.**2. Date of Surveillance:**

February 17, 2023

3. Description of Changes in The Condition of The Material:

<u>HA#-DESCRIPTION/LOCATION</u>	<u>OBSERVATIONS/CHANGES</u>
09 & 14 - (920 LF) WHITE INTERIOR AND EXTERIOR WINDOW GLAZING ON METAL FRAME WINDOWS	
NORTH SIDE (8 WINDOWS), EAST SIDE (13 WINDOWS), SOUTH SIDE (6 WINDOWS), INTERIOR COURTYARD (4 WINDOWS)	CONTINUE O/M. (INTERIOR AND EXTERIOR GLAZING REMOVED FROM THE 4 WEST WINDOWS (100, 101, 200, 201) DURING 2014 RENOVATIONS)

Auth: Pa 368 of 1978

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NOTE:

- A new roof was installed in July/August 2012**
- All asbestos containing building materials that were removed during the 2014 renovations are referenced in the "Ottawa Elementary asbestos removal reports" dated June 27, 2014**

LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#03-STARK ELEMENTARY - 502 CLAREMONT STREET (SOLD)

PERIODIC SURVEILLANCE

1. Name of Person Performing Surveillance:

Last

First

MI.

2. Date of Surveillance:

BUILDING SOLD IN 2021

LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB##04-BUCHANAN MIDDLE SCHOOL - 610 W 4TH STREET**PERIODIC SURVEILLANCE****1. Name of Person Performing Surveillance:**Last
MCINTYREFirst
EDWARDMI.
C.**2. Date of Surveillance:**

February 17, 2023

3. Description of Changes in The Condition of The Material:

<u>HA#-DESCRIPTION/LOCATION</u>	<u>OBSERVATIONS/CHANGES</u>
1974 SECTION: OLD KITCHEN (NOW ART STORAGE ROOM AND NOTED ON SKETCH)	GOOD CONDITION. CONTINUE O/M (APPEARS TO BE A NEWER FLOOR TILE)
11 - (3 LF) BOILER BREACHING GASKET	
BOILER ROOM	CONTINUE O/M-NEW BOILER SYSTEM INSTALLED 2014
23 - (22,200 SF) BLACK MASTIC UNDER CARPET	
ROOMS 3219, 3232, 3233, 3217, CORRIDOR OUTSIDE SHOP, MAIN CORRIDOR AND LOCKER AREA, OFFICE 1, OFFICE 2, ROOMS 3201-3212	CONTINUE O/M
26 - (20 LF) FLANGE GASKETS	
BOILER ROOM	GOOD CONDITION CONTINUE O/M
27 - (100 SF) LAB DESKTOPS	
ROOMS 3221 (NOTED ON SKETCH)	GOOD CONDITION CONTINUE O/M

Auth: Pa 368 of 1978

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NOTES: HA'S correspond to the NESHAP report dated December 20, 2013, documentation of asbestos containing building materials that have been removed are referenced in the air monitoring report dated September 15, 2015.

An old floor plan is being used with new room numbers and uses added where applicable.

LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#05-BUCHANAN HIGH SCHOOL - 401 W CHICAGO STREET

PERIODIC SURVEILLANCE**1. Name of Person Performing Surveillance:**Last
MCINTYREFirst
EDWARDMI.
C.**2. Date of Surveillance:**

February 17, 2023

3. Description of Changes in The Condition of The Material:

<u>HA#-DESCRIPTION/LOCATION</u>	<u>OBSERVATIONS/CHANGES</u>
21 - (4,800 SF) 1' X 1' FLOOR TILE	
ART BUILDING	KEEP FLOOR WAXED, CONTINUE O/M.
INSTRUMENTAL MUSIC ROOM (INCLUDING BAND ROOM 1, INSTRUMENT STORAGE 1, INSTRUMENT STORAGE 2, COLOR GUARD ROOM, STORAGE 1, OFFICE 2, STORAGE 2, STORAGE 3, AND BAND ROOM 2)	REPLACE TILES AS NEEDED AND KEEP FLOORS WAXED, CONTINUE O/M SOME CRACKING IN STORAGE ROOMS 2 & 3. TILE IN BAND ROOM 1 REPLACED SUMMER OF 2018. FORMER TILE REMOVED PER CUSTODIAN.
HALLWAY TO BAND ROOM 1	TILE REPLACED SUMMER OF 2018. FORMER TILE REMOVED PER CUSTODIAN.
STORAGE (NORTHEAST OF ROOM 104)	TILE REMOVED OVER 5 YEARS AGO PER CUSTODIAN.
CUSTODIAL CLOSETS, AUTO SHOP	CT OFFICE HAS IMPACT MARKS BY CHAIRS. CONSIDER CHAIR MATS IN CT OFFICE. CLASSROOM CARPETED IN 2016. ASSUMED TILE UNDER CARPET.
2 - (3,500 SF) 9" X 9" FLOOR TILE	
ROOM 100 (INCLUDING OFFICE AND STORAGE 1)	OFFICE IS CARPETED (POSSIBLY OVER 9" X 9" FLOOR TILE). REPLACE ANY TILES AS NEEDED AND KEEP FLOOR WAXED, CONTINUE O/M

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LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#05-BUCHANAN HIGH SCHOOL - 401 W CHICAGO STREET (CONTINUED)

PERIODIC SURVEILLANCE**1. Name of Person Performing Surveillance:**Last
MCINTYREFirst
EDWARDMI.
C.**2. Date of Surveillance:**

February 17, 2023

3. Description of Changes in The Condition of The Material:

<u>HA#-DESCRIPTION/LOCATION</u>	<u>OBSERVATIONS/CHANGES</u>
22 - (3,500 SF) 9" X 9" FLOOR TILE (CONTINUED)	
ROOM 101 (INCLUDING STORAGE 1, OFFICE, AND STORAGE 2)	THE OFFICE TILE IS WORN UNDER THE DESK CHAIR. PLACE CHAIR MAT AND KEEP FLOORS WAXED, CONTINUE O/M. OFFICE 9X9 HAS BEEN REMOVED
ROOM 102 (INCLUDING OFFICE)	OVERALL GOOD CONDITION, CONTINUE O/M
HALLWAY TO ROOM 103	GOOD CONDITION. CONTINUE O/M
ROOM 103	GOOD CONDITION. CONTINUE O/M
ROOM 104 (INCLUDING STORAGE)	REPLACE TILES AS NEEDED AND KEEP FLOORS WAXED, CONTINUE O/M
BAND ROOM STORAGE CLOSETS (3 TOTAL)	CHIPPING AND MISSING TILES IN EACH OF THE STORAGE CLOSETS. REPAIR AND REPLACE. CONTINUE O/M
28 - (10,500 SF) FIBERBOARD	
GYM CEILING	GOOD CONDITION, CONTINUE O/M.
45 - (1,800 SF) FLOOR TILE (WHITE COLORED AND GREY COLORED WITH MULTICOLORED SPECKLES)	
CAFETERIA	MINOR CRACKING (WAX AND MONITOR) , CONTINUE O/M

FIRE DOORS	
BACK OF STAGE (EAST END), CUSTODIAL CLOSET OUTSIDE AUDITORIUM	CONTINUE O/M
CUSTODIAL CLOSET (NORTHWEST OF BOILER ROOM)	CONTINUE O/M
CUSTODIAL CLOSET (SOUTHEAST OF BUS OFFICE)	CONTINUE O/M

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LEA NAME

BUCHANAN COMMUNITY SCHOOLS

SB#

#05-BUCHANAN HIGH SCHOOL - 401 W CHICAGO STREET (CONTINUED)

PERIODIC SURVEILLANCE**1. Name of Person Performing Surveillance:**Last
MCINTYREFirst
EDWARD

MI.

2. Date of Surveillance:

February 17, 2023

3. Description of Changes in The Condition of The Material:

<u>HA#-DESCRIPTION/LOCATION</u>	<u>OBSERVATIONS/CHANGES</u>
FIRE DOORS (CONTINUED)	
CUSTODIAL CLOSET (BY ROOM 103) , BACK OF STAGE (WEST END), STORAGE ROOM - 2 DOORS (NORTHEAST OF ROOM 104), CUSTODIAL CLOSET (BY STAIRCASE), BAND ROOM 1 STORAGE 2, BAND ROOM 1 INSTRUMENT STORAGE 1 - 2 DOORS, BOILER ROOM, STAIRWELL TO BASEMENT LOCKER ROOMS (HALLWAY DOOR), KITCHEN STORAGE 2, BASEMENT (ROOM 2), BASEMENT (ROOM 10), BASEMENT (LOCKER ROOM 1 CLOSET), BASEMENT (FOOTBALL STORAGE), BASEMENT (LOCKER ROOM 2 STORAGE 1), 2 ND FLOOR CUSTODIAL CLOSET (EAST OF ROOM 103), ROOM 204, ROOM EAST OF 208, ROOM 208 (EAST DOOR), ROOM NORTH OF 212, ROOM NORTH OF 215, ART BUILDING (CORRIDOR NORTH ENTRANCE) ART BUILDING (NORTHEAST ROOM), ART BUILDING (STORAGE 1), ART BUILDING (STORAGE 2), ART BUILDING (SOUTHEAST ROOM)	<p>THE THREE FIRE DOORS BY ROOM 116 HAS LAMINATION LIFING (REPAIR OR REPLACE). AND THE TWO FIRE DOORS BT ROOM 123 HAVE EXPOSED CORE (REPAIR AND REPLACE)</p> <p>ALL OTHER FIRE DOORS IN GOOD CONDITION. CONTINUE O/M</p>

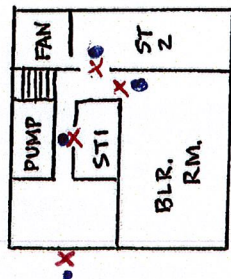
STAIRWELL TO BASEMENT LOCKER ROOMS (COMPETITION GYM DOOR), ROOM WEST OF 204, ROOM 208 (WEST DOOR)	GOOD CONDITION. CONTINUE O/M
KITCHEN STORAGE 1	CONTINUE O/M
BASEMENT (LOCKER ROOM 1), ART BUILDING (CORRIDOR SOUTH ENTRANCE)	GOOD CONDITION, CONTINUE O/M
BASEMENT (AIR HANDLER ROOM)	GOOD CONDITION CONTINUE O/M
BASEMENT (LOCKER ROOM STORAGE 2)	LOCK SET REPLACED SINCE 8/8/2018 INSPECTION. CONTINUE O/M

Auth: Pa 368 of 1978

Completion of This Form (Or Equivalent) Is Required by AHERA

NOTE:


1. The stage fire curtain looks like asbestos cloth, assume it contains asbestos. The curtain is in good condition and should remain in place.
2. The hallways in the basement locker room appear to have 9" x 9" floor tile with chipping impact damage and cracking throughout. Monitor and keep floors waxed; continue O/M

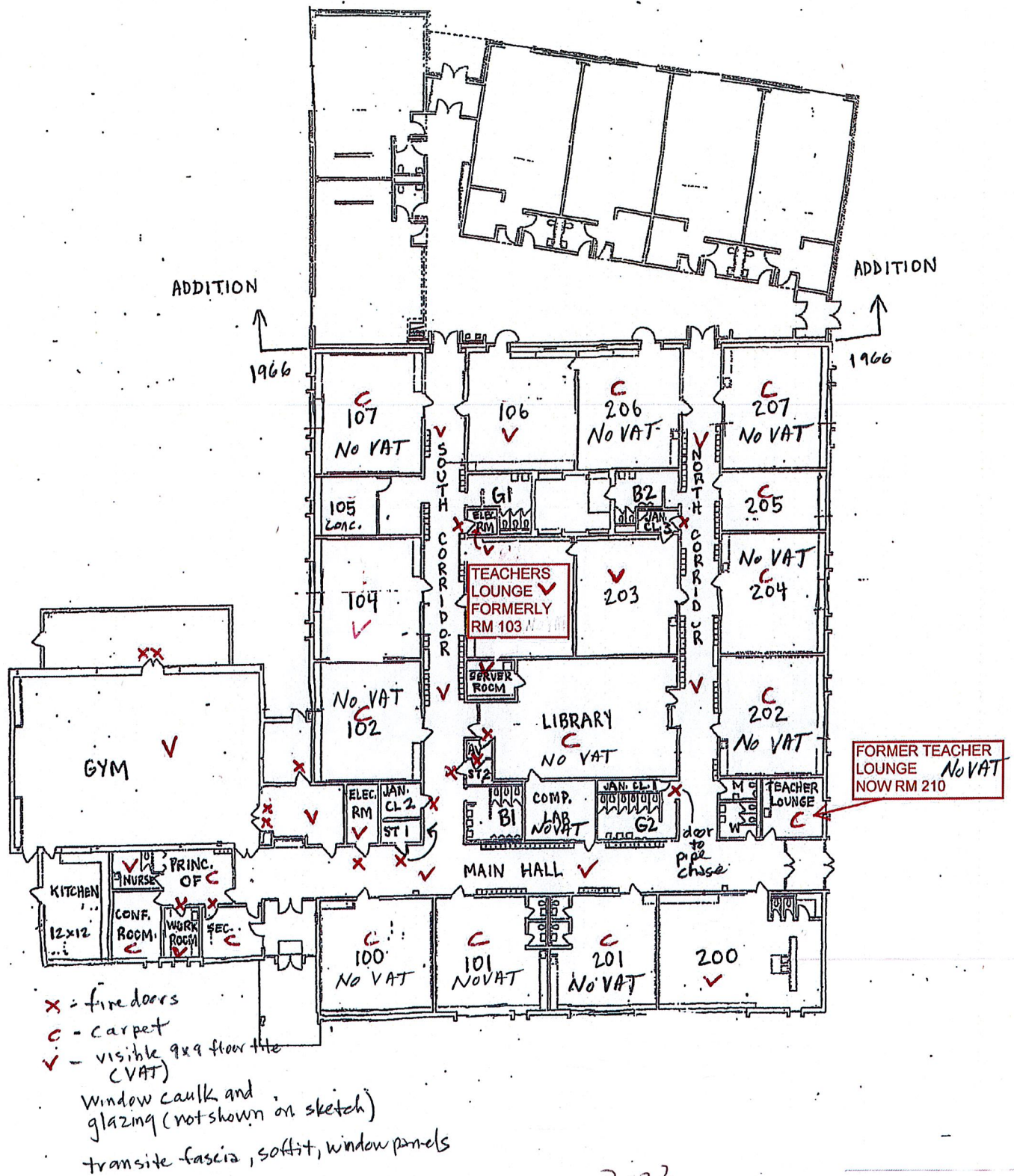


A hand-drawn floor plan of a building, oriented vertically. The plan shows a central corridor labeled "Terrazzo" and "Cust" (Custodian). Rooms are numbered 101 through 113. Room 101 is labeled "Principal's office". Room 102 is labeled "BT" (Bathroom). Room 103 is labeled "STAGE". Room 104 is labeled "GYM". Room 105 is labeled "BT". Room 106 is labeled "BT". Room 107 is labeled "BT". Room 108 is labeled "BT". Room 109 is labeled "BT". Room 110 is labeled "BT". Room 111 is labeled "BT". Room 112 is labeled "BT". Room 113 is labeled "BT". The plan also shows a "Plaster ceiling" and "Assumed ACM" (Asbestos Containing Material) in the ceiling of the gym and in the core at the metal window panels (W. side). Red 'X' marks are placed in rooms 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, and 113. A blue dot is marked in room 104. Arrows point to the "Principal's office", "Plaster ceiling", "Assumed ACM", and "Assumed ACM in core at metal window panels (W. side)".

- * - all TSI concealed in wall cavities
- X - fire doors
- ✓ - visible 9x9 floor tile
- C - Carpet
- Floor tile
- Drywall (assumed ACM)

Bilding #01

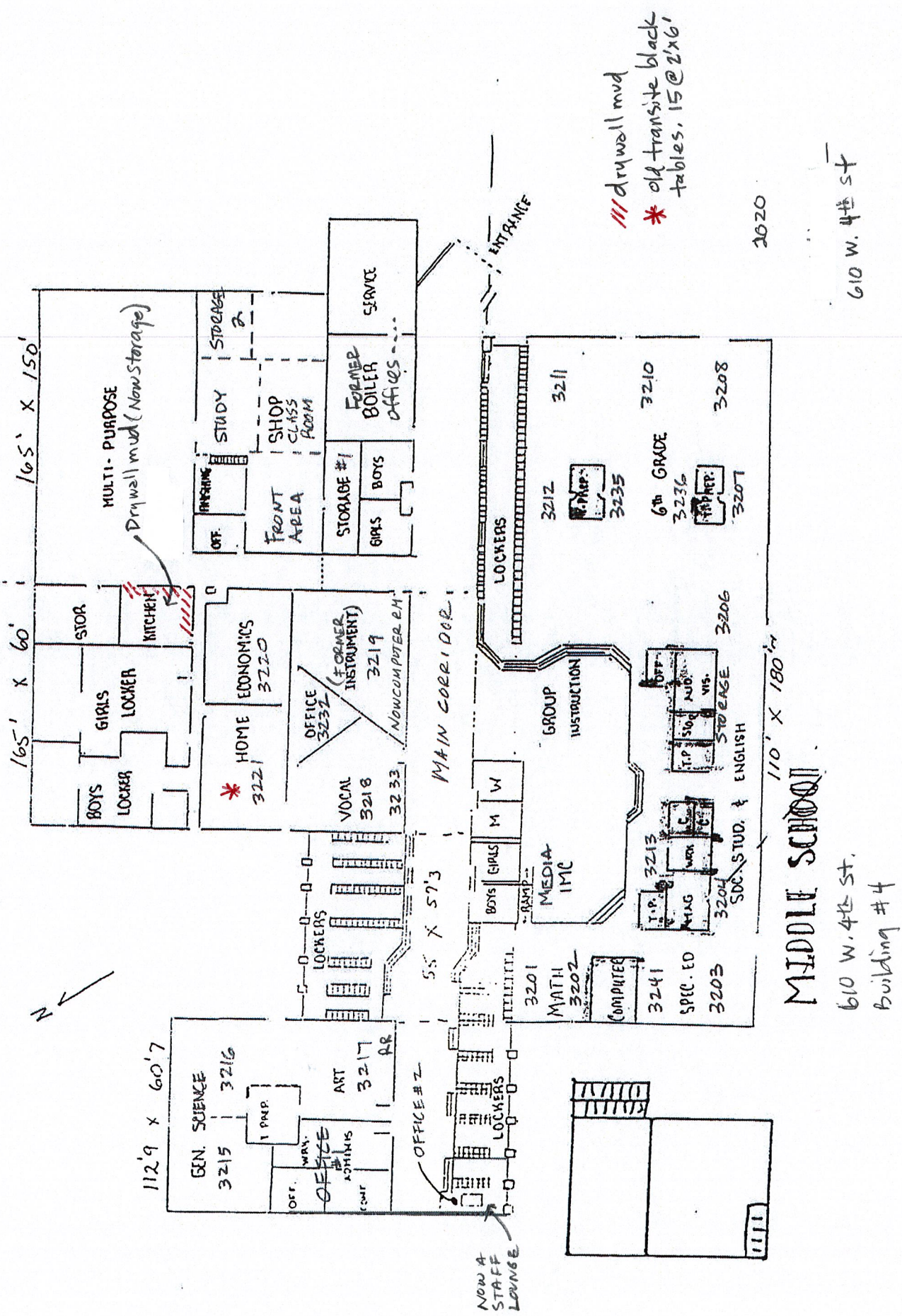
Moccasin Elementary School		
Address:	410 Moccasin St.	



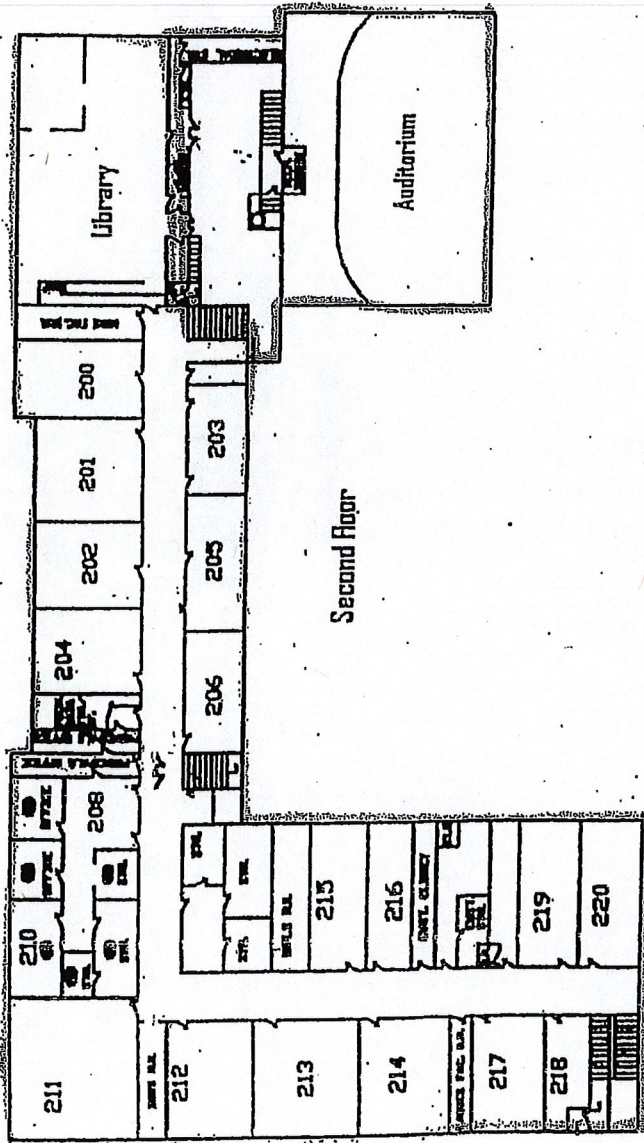
2023

Building #02

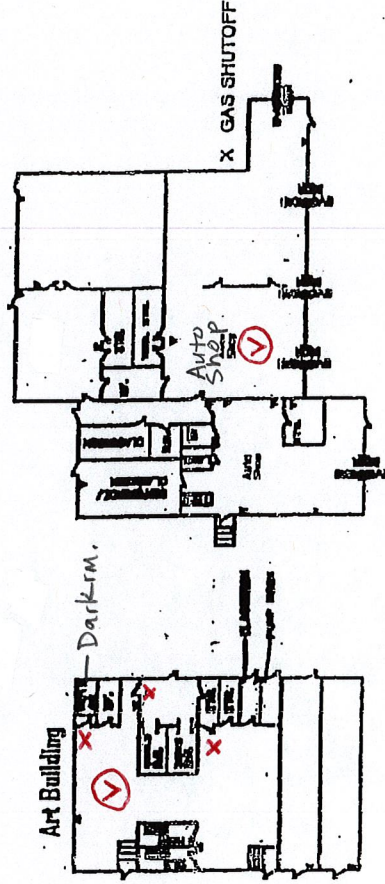
Ottawa Elementary School		
Address:	Date:	→ N
100 Ottawa Street	07/21/16	



BUCHANAN HIGH SCHOOL



Tech Building



Art Building

-Darkm.

Buchanan High School (Second Floor)

Address:

401 W Chicago St.





745 S. State Street
Sparta, MI 49345
(616) 887-0328
Fax: (616) 887-0624

www.armockmc.com

DATE: 7/24/22

Attn: Brad Heuton

SUBJECT: Buchanan Schools

Armock Mechanical Contractors Inc. is pleased to offer the following quotation for the above described project. Armock Mechanical will provide all necessary labor, equipment and materials to complete the following:

1. Receive, deliver and install 8' x12' walk-in freezer with factory floor. Customer to provide level slab for installation.
2. Install refrigeration package per specifications, condenser on roof, support rails provided.
3. Provide and install refrigeration lines, condensate drain lines, insulation and heat tape as required.
4. Install membrane roof and flash to building, flash box to exterior building walls.
5. Provide and install stainless trim around wall penetration to walk-in freezer. Cut out / opening not included in quote.
6. Charge, start and calibrate equipment.
7. Electrical not included in quote.
8. All labor, materials, crane service and permits included.

Thank you for the opportunity to quote this work. If you have any questions, please feel free to call us at any time.

Sincerely,

Mike Cnossen

SIGN - IN SHEET

PROJECT: **2023 Ottawa Elementary School Freezer Replacement Project**

CLIENT: **Buchanan Community Schools**

DATE: March 30, 3023

[illegible]